

DEADWOOD HISTORIC PRESERVATION COMMISSION

Wednesday, September 10, 2014 ~ 5:00 p.m.

City Hall, 108 Sherman Street, Deadwood, South Dakota

1. Call meeting to Order
2. Approval of Minutes
 - a. Approval of Minutes from August 27, 2014
3. Voucher Approval
4. Old or General Business
5. New Matters before the Deadwood Historic District Commission
 - a. CoA – Case #14044 – 822 Main St – Siding – Allen & Phyllis Wright
 - b. CoA – Case #14059 – 753 Main St. – Storage Shed – NH Alliance for Children
 - c. CoA – Case #14060 – 555/531 Main St – Connect Tin Lizzie & Four Aces – Deadwood Parking Lots
6. New Matters before the Deadwood Historic Preservation Commission
 - a. PA – Case #14054 – 20861 Spruce Gulch – Replace Tower – Ken Schultz/New Cingular Wireless
 - b. PA - Case #14055 - 51 Taylor - Repair Stucco/chimney/add windows & door - Christina Creger
 - c. PA – Case #14056 – 270 Lower Main St – Covered Parking Area – Mike Gustafson/First Gold
 - d. PA – Case #14057 – 2 Freemont St – Demolition – Jeff Snedeker
 - e. PA – Case #14058 – 3 Pearl St – Windows Phase 2 – Brenda Tamillo/Kevin Oberemdt
7. Revolving Loan Fund/Retaining Wall Program Update
 - a. Retaining Wall Applications
 - b. Revolving loan Program/Disbursements
 - Alan Wright – 822 Main
 - Donna Kellar – 58 Pleasant
 - Fairmont Hotel – Ron Russo
 - Kris & Melanie Fenton – 27 Lincoln
 - Brenda Tamillo & Kevin Oberemdt – 3 Pearl
 - Kevin Bloom – 17 Fillmore
 - Ferd Balkenhol – 318 Williams
 - c. Retaining Wall Program / Disbursements
8. Items from Citizens not on agenda (*Items considered but no action will be taken at this time.*)
9. Staff Report (*Items considered but no action will be taken at this time.*)
10. Committee Reports (*Items will be considered but no action will be taken at this time.*)
11. Other Business
12. Adjournment

All Applications **MUST arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next Historic Preservation Commission Meeting.*

SPECIAL MEETING

DEADWOOD HISTORIC PRESERVATION COMMISSION

Wednesday, August 27, 2014 ~ 3:30 p.m.

City Hall, 108 Sherman Street, Deadwood, South Dakota

1. Call meeting to Order
2. Policies and Procedures – Secretary of Interior Standards for Rehabilitation Review
3. Adjourn

**CITY OF DEADWOOD
HISTORIC PRESERVATION COMMISSION**

Wednesday, July 23, 2014

Present Historic Preservation Commission: Chair Laura Floyd, Chuck Williams, Thomas Blair, Lynn Namminga, Lyman Toews, and Michael Johnson were present.

Absent: Darin Derosier were absent.

Kevin Kuchenbecker, Historic Preservation Officer, was all present.

Present City Commission members: None

A couple citizens also were in attendance.

A quorum present, Chair Floyd called the Deadwood Historic Preservation Commission's Policy and Procedures meeting to order Wednesday, August 27, 2014 at 3:30 PM in Deadwood City Hall located at 102 Sherman Street in Deadwood, SD.

Mr. Kuchenbecker presented a Power Point presentation on the Secretary of Interior Standards for Rehabilitation and guidelines for Historic Preservation projects to the Commission.

Adjournment:

There being no other business, the Historic Preservation Commission Meeting of August 27, 2014 adjourned at 4:48 PM.

ATTEST:

Laura Floyd
Chairman, Historic Preservation Commission
Kate Storhaug, Historic Preservation Office/ Recording Secretary

SPECIAL MEETING

DEADWOOD HISTORIC PRESERVATION COMMISSION

Wednesday, August 27, 2014 ~ 3:30 p.m.

City Hall, 108 Sherman Street, Deadwood, South Dakota

1. Call meeting to Order
2. Policies and Procedures – Secretary of Interior Standards for Rehabilitation Review
3. Adjourn

DEADWOOD HISTORIC PRESERVATION COMMISSION

Wednesday, August 27, 2014 ~ 5:00 p.m.

City Hall, 108 Sherman Street, Deadwood, South Dakota

4. Call meeting to Order
5. Approval of Minutes
 - a. Approval of Minutes from August 13, 2014
6. Voucher Approval
7. Old or General Business
 - a. Deadwood Stagecoach Days Update – Mary Kopco, Deadwood History, Inc.
 - b. Recommendations for Limited Architectural Services – Historic Preservation Office
 - i. Deadwood Public Library – Refurbish Windows
 - ii. Rodeo Grounds Grandstand Concessions and Restroom Upgrades
8. New Matters before the Deadwood Historic District Commission
 - a. CoA – Case # 14047 – 25 Lee St – Side Door – Jeff Lamont/Pineview Group LLC
9. New Matters before the Deadwood Historic Preservation Commission
 - a. PA – Case # 14052 – 28 Taylor Ave – Storm Windows – Ron Underhill
 - b. PA – Case # 14053 – 26 McKinley Street – Siding – Mark Burke
10. Revolving Loan Fund/Retaining Wall Program Update
 - a. Retaining Wall Applications
 - b. Revolving loan Program/Disbursements
 - i. Donna Kellar – 58 Pleasant
 - ii. Charles Turbiville – 458 Williams
 - iii. Brian Arsaga – 128 Williams
 - iv. Ferd Balkenhol – 834 Main
 - c. Retaining Wall Program / Disbursements
11. Items from Citizens not on agenda (*Items considered but no action will be taken at this time.*)
12. Staff Report (*Items considered but no action will be taken at this time.*)
13. Committee Reports (*Items will be considered but no action will be taken at this time.*)
14. Other Business
15. Adjournment
16. Executive Session (if needed)

All Applications **MUST arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next Historic Preservation Commission Meeting.*

CITY OF DEADWOOD
HISTORIC PRESERVATION COMMISSION
Wednesday, August 27, 2014

Present Historic Preservation Commission: Chair Laura Floyd, Michael Johnson, Lynn Namminga, Thomas Blair, Darin Derosier, Chuck Williams and Lyman Toews were present.

Absent: None

Mr. Kevin Kuchenbecker, Historic Preservation Officer; Ms. Terri Williams, City Attorney; and Ms. Joy McCracken, Executive Director of NeighborWorks-Dakota Home Services were all present.

Present City Commission members: Georgeann Silvernail was present.

All motions passed unanimously unless otherwise stated.

A quorum present, Chair Floyd called the Deadwood Historic Preservation Commission meeting to order Wednesday, August 13, 2014 at 5:00 PM in Deadwood City Hall located at 102 Sherman Street in Deadwood, SD.

Approval of August 13, 2014 HPC Minutes:

It was moved by Mr. Johnson and seconded by Mr. Blair to approve the minutes of Wednesday, August 13, 2014 as presented. Aye – All. Motion carried.

Voucher Approval:

Operating Account

It was moved by Mr. Johnson and seconded by Mr. Namminga to approve the HP Operating Account in the amount of \$34,810.04. Aye – All. Motion carried.

It was moved by Mr. Johnson and seconded by Mr. Derosier to approve the Bonded Account in the amount of \$2,733.20. Aye – All. Motion carried.

Old or General Business:

Deadwood Stagecoach Days Update – Mary Kopco, Deadwood History, Inc.

Ms. Mary Kopco, Executive Director for Deadwood History Inc, thanked Mr. Kuchenbecker and the commission for their support in putting on the first annual "Deadwood Stagecoach Days: 1876-1890" scheduled for September 5-6, 2014. She encouraged the Commission to attend and take part in the two-day educational program filled with organized lectures, tours, food tasting, entertainment, wagon demonstrations and craftsmanship expo.

Recommendations for Limited Architectural Services – Historic Preservation Office

Deadwood Public Library – Refurbish Windows: Mr. Kuchenbecker informed the Commission of a proposal solicited from Dave Stafford Architecture to provide Architectural and Engineering (A/E) design services for repairs, component replacement, wood consolidation, re-glazing, and re-painting of the interior and exterior of all the windows in the Deadwood Library; Services will include creation of bid documents including plans, elevations, details, specifications, and site investigation required for the project; this proposal includes architectural services only. He stated these repairs will meet the Secretary of Interiors Standards for Rehabilitation and provide detailed specifications to ensure quality craftsmanship. ***It was moved by Mr. Derosier and seconded by Mr. Johnson to recommend the City Commission hire Dave Stafford Architecture to develop the necessary plans and specifications ensuring the City of Deadwood gets competitive bids using appropriate preservation measures to refurbish Library windows at the proposed cost of \$8,500 plus mileage and reimbursable expenses. Aye – All. Motion carried.***

Rodeo Grounds Grandstand Concessions and Restroom Upgrades: Mr. Kuchenbecker informed the Commission of a proposal solicited from Dave Stafford Architecture to provide Architectural and Engineering (A/E) design services for upgrade/rehabilitation of the concessions and public restroom facilities incorporated under the grandstands at the Rodeo Grounds. These repairs also include the necessary repairs of the roof and will meet the Secretary of Interiors Standards for Rehabilitation and provide detailed specifications to ensure quality craftsmanship. ***It was moved by Mr. Derosier and seconded by Mr. Namminga to recommend the City Commission hire Dave Stafford Architecture for architectural and engineering services as proposed at a cost of \$48,500 with roof to be fixed first followed by restrooms and then concessions area. Aye – All. Motion carried.***

New Matters before the Deadwood Historic District Commission:

Case # 14047 – 25 Lee Street – Side Door – Jeff Lamont/Pineview Group LLC

Mr. Kuchenbecker informed the Commission the applicant requests approval to remove window and replace with standard 36" x 84" public entrance door on corner of addition facing the highway and closest to Lee Street as submitted. Mr. Kuchenbecker stressed concern the original Certificate of Appropriateness for construction of this building included an awning on the front of the building; he feels it is critical in establishing the scale of the façade and a contingent of approval of this application should include the installation of the awning on the façade prior to issuance of building permit for the new door as originally approved Certificate of Appropriateness. (The application is attached hereto on Exhibit A and incorporated herein by this reference.) ***Based upon the guidance found in DCO 17.68.050, it was moved by Mr. Derosier and seconded by Mr. Toews this project is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness with contingency the awning is installed and plans for door and landing meets all codes prior to the issuance of a building permit for the door as submitted for 788 Main Street.***

With a motion on the floor, Chairman Floyd moved for a vote. Vote was 6 to 1. Motion carried.

New Matters before the Deadwood Historic Preservation Commission:

Case # 14052 – 28 Taylor Ave – Storm Windows – Ron Underhill

Mr. Kuchenbecker informed the Commission the applicant requests permission to add storm windows at 28 Taylor Avenue as submitted. (The application is attached hereto on Exhibit B and incorporated herein by this reference.) ***Based upon all the evidence presented, it was moved by Mr. Toews and seconded by Mr. Derosier this project DOES NOT encroach upon, damage or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore grant project approval for 166 Charles Street. Aye - All. Motion carried.***

It was moved by Mr. Johnson and seconded by Mr. Williams to enter Ron Underhill at 28 Taylor Ave into the Special Needs Windows Program. Aye – All. Motion carried.

Case # 14053 – 26 McKinley Street – Siding – Mark Burke

Mr. Kuchenbecker informed the Commission the applicant requests permission to remove existing T1-11 siding and install house wrap & insulation; then install 6" engineered lap siding (horizontal) with corner & window trim at 26 McKinley Street as submitted. (The application is attached hereto on Exhibit C and incorporated herein by this reference.) ***Based upon all the evidence presented, it was moved by Mr. Toews and seconded by Mr. Johnson that this project DOES NOT encroach upon, damage or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore grant project approval for 26 McKinley Street. Aye - All. Motion carried.***

Revolving Loan Fund/Retaining Wall Program Update:

Retaining Wall Applications

No applications were addressed at this meeting.

Revolving Loan Program/Disbursements

It was moved by Mr. Derosier and seconded by Mr. Williams to approve the HP Revolving Loan Fund disbursement in the amount of \$1,763.05, based on information as presented by Ms. McCracken, Executive Director of NeighborWorks-Dakota Home Services. Aye - All. Motion carried. Delinquency report was reviewed by Commission. Overview of the Revolving Loan Fund was presented.

Donna Kellar – 58 Pleasant

It was moved by Mr. Derosier and seconded by Mr. Williams to forgive the HP Retaining Wall Loan for Donna Kellar, 58 Pleasant, in the amount of \$16,663.75, based on information as presented by Ms. McCracken, Executive Director of NeighborWorks-Dakota Home Services. Aye - All. Motion carried.

Charles Turbiville – 458 Williams Street

It was moved by Mr. Namminga and seconded by Mr. Blair to forgive the HP Windows Loan for Charles Turbiville, 458 Pleasant, in the amount of \$3,000.00, based on information as presented by Ms. McCracken, Executive Director of NeighborWorks-Dakota Home Services. Aye - All. Motion carried.

Commissioner Blair recused himself from discussion as this property belongs to his daughter and son-in-law.

It was moved by Mr. Derosier and seconded by Mr. Namminga to forgive the HP Retaining Wall Loan for Bryan Arsaga, 128 Pleasant, in the amount of \$54,434.77, based on information as presented by Ms. McCracken, Executive Director of NeighborWorks-Dakota Home Services. Aye - All. Motion carried.

Commissioner Blair rejoined the meeting.

Ferd Balkenhol – 834 Main Street

It was moved by Mr. Blair and seconded by Mr. Toews to forgive the Retaining Wall portion of Loan for Ferd Balkenhol, 834 Main Street, in the amount of \$14,868.00 as it met all criteria for forgiveness as presented. Aye- All. Motion carried.

Retaining Wall Program/Disbursements:

No applications were addressed at this meeting.

Items from Citizens not on Agenda

Staff Report: (items will be considered but no action will be taken at this time.)

Mr. Kuchenbecker reported on the following items:

- Meeting is scheduled tomorrow morning to discuss Retaining Wall at 2 Dudley;
- Change Order for retaining wall at 91 Forest will be presented at City Commission Meeting on Tuesday, Sept. 2, 2014;
- Reviewed Archives Report and pointed out current progress on Chinese Coin collection, skeletal remains and recent donations.

Other Business:

- Mr. Lee Thompson, resident of Deadwood, asked how he could present his request to assume a HP Loan in his purchase of 43 Forest. Ms. Williams recommended he submit a written request to NeighborWorks which can be presented and reviewed by the Loan Committee prior to the next Historic Preservation Commission Meeting;
- Ms. Silvernail wanted to recognize and recommended acknowledging the wonderful volunteers who take time out of their day to help in Archives;
- Mr. Derosier informed Commission Director Ms. Mary Kopco resigned as Executive Director of Deadwood Historic Inc.; Carolyn Weber was named Interim until Board has had time to review replacements;
- Chair Floyd shared Thank You received from Chelsie Bauer for Commission's support of the Archeology Camp held this summer;
- Chair Floyd encouraged those Commissioners not able to attend the Policy & Procedures Meeting prior to the HP Commissions Meeting to get a copy of The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines on Sustainability for Rehabilitating Historic Buildings and review with Mr. Kuchenbecker;

Adjournment:

There being no other business, the Historic Preservation Commission Meeting of August 27, 2014 adjourned at 6:12 PM.

ATTEST:

Laura Floyd
Chairman, Historic Preservation Commission
Kate Storhaug, Historic Preservation Office/ Recording Secretary

Case No. 14044
Address: 822 Main Street

September 3, 2014

STAFF REPORT

The applicant has submitted an application for a Certificate of Appropriateness at 822 Main Street a non-contributing structure located in the Upper Main Deadwood City Planning Unit in the City of Deadwood.

Applicant: Allen Wright
Owner: same
Constructed: Circa 1930

CRITERIA FOR THE ISSUANCE OF CERIFICATE OF APPROPRIATENESS

The Historic District Commission shall use the following criteria in granting or denying Certificate of Appropriateness:

General Factors:

1. Historic significance of the resource: At the time of the 1993 Architectural Survey, this house had been re-sided with rough boards and has all modern replacement windows and doors. Because of these alterations, it has lost integrity and cannot contribute to the Deadwood National Historic Landmark District at this time.

2. Architectural design of the resource and proposed alterations: The applicant requests approval to remove and replace siding as well as add a stone veneer along the lower section of the front porch on 822 Main Street as submitted.

Attachments: Yes

Plans: Yes

Photos: Yes

Recommended Decision: The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. The proposed work continues to remedy some of the issues which have made the building non-contributing.





Motions available for commission action:

A. Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

OR

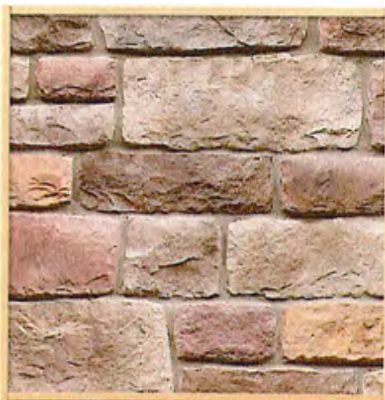
B. Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

Heritage

The warm and traditional appearance of Heritage lends itself to a wide variety of architectural styles adding elegance to any residential or commercial application. Each stone was originally hand-chiseled by masons to create rugged rectangular ashlar shapes. The profile installs into randomly coursed patterns making an impressive visual statement. Heritage stones range from 2¼"-8" in height and 3½"-17" in length.



Bucktown Heritage



Chardonnay Heritage



Hill Country Heritage



Ohio Heritage



Old Ohio Heritage



Pennsylvania Heritage



Tan Heritage



Warm Springs Heritage



Warm Springs Heritage

TURNBULL & SON

Brick, Stone, Tile & Painting

DEADWOOD (605) 641-7198

TurnbullandSonMasonry.com

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Fax (605) 578-2084

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"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

City of Deadwood Application for ☐ Project Approval or ☒ Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work that is in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 822 Main Street Deadwood

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other _____

Owner's Name: Alan Wright
Address: 822 Main st.
City: Deadwood State: SD Zip: 57732
Telephone: 605-559-0114
E-mail: alan.wright@midco.net

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|--|--------------------------------------|--|
| ☐ Alteration (change to exterior) | ☐ New Building | ☐ Addition | ☐ Accessory Structure |
| ☐ New Construction | ☐ Re-Roofing | ☐ Wood Repair | ☐ Exterior Painting |
| ☐ General Maintenance | ☒ Siding | Other _____ | |
| ☐ Other _____ | ☐ Awning | ☐ Sign | ☐ Fencing |

Estimated Cost of Work: \$ _____

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ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
☐ ALTERATION	☐ Front	☐ Side(s)	☐ Rear
☐ ADDITION	☐ Front	☐ Side(s)	☐ Rear
☐ NEW CONSTRUCTION	☐ Residential	☐ Other _____	
☐ ROOF	☐ New	☐ Re-roofing	
	☐ Front	☐ Side(s)	☐ Rear
☐ GARAGE	☐ New	☐ Rehabilitation	
	☐ Front	☐ Side(s)	☐ Rear
☐ FENCE/GATE	☐ New	☐ Replacement	
	☐ Front	☐ Side(s)	☐ Rear
Material _____		Style/type _____ Dimensions _____	
☐ WINDOWS	☐ STORM WINDOWS	☐ DOORS	☐ STORM DOORS
☐ Restoration		☐ Replacement	☐ New
☐ Front		☐ Side(s)	☐ Rear
Material _____		Style/type _____	
☐ SIGN/AWNING	☐ New	☐ Restoration	☐ Replacement
Material _____		Style/type _____ Dimensions _____	
☐ OTHER – Describe in detail below or use attachments		Siding	

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

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SIGNATURES

I HEREBY CERTIFY that I understand this application will not be accepted and processed until all the requested information has been supplied. I realize that drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand that this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand that approval is issued for proposed work that is in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

<u>Q. Wright</u>	<u>7-14-14</u>		
SIGNATURE OF OWNER(S)	DATE	SIGNATURE OF AGENT(S)	DATE
SIGNATURE OF OWNER(S)	DATE	SIGNATURE OF AGENT(S)	DATE
SIGNATURE OF OWNER(S)	DATE	SIGNATURE OF AGENT(S)	DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office and the City Clerk. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the enclosed criteria checklist as a guide to completing the application.
Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

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FOR OFFICE USE ONLY:

Please check and initial items as they are completed.

Case No.: _____ Date of Filing: _____

- ☐ Certificate of Appropriateness
- ☐ Project Approval
- ☐ Sign Application

Property Designation:

- ☐ Contributing
- ☐ Non-contributing

Historic Overlay District:

- | | | |
|--|---|--|
| ☐ 1. Pluma | ☐ 5. McGovern Hill | ☐ 9A. Large's Gulch |
| ☐ 2. Peck's Garden | ☐ 6. Ingleside | ☐ 9B. Spruce Gulch |
| ☐ 3. Cleveland | ☐ 7. Upper Main Street | ☐ 10. Fountain City |
| ☐ 4. Deadwood | ☐ 8A. City Creek | ☐ 11. 1 st Ward – Industrial |
| ☐ A. Deadwood City | ☐ 8B. Forest Hill | ☐ 12. Pinecrest |
| ☐ B. South Deadwood | ☐ 8C. Highland Park | ☐ 13. Hillside Environs |
| ☐ C. Chinatown | Addition | |
| ☐ D. Elizabeth Town | | |

Application complete

Project Documents submitted (check all that apply)

- ☐ Photographs of property and/or adjacent properties
- ☐ Drawings and/or architectural renderings
- ☐ Materials and/or color samples
- ☐ Other

Staff Preparation	Initials	Date below
☐ Site Visit	_____	___/___/___
☐ Project visible from right-of-way?	_____	☐ Yes ☐ No
☐ Logged into HPC Agenda	_____	___/___/___
☐ Staff Report (research)	_____	___/___/___
☐ Packet to HPC Members	_____	___/___/___

Post Meeting Documentation	Initials	Date below
☐ Approval ☐ Denial	_____	___/___/___
☐ Property owner notification	_____	___/___/___

Building & Zoning Department (if applicable)	Initials	Date below
☐ Building Permit Application	_____	___/___/___
☐ Setback(s) checked by P & Z	_____	___/___/___
☐ Detailed plans reviewed	_____	___/___/___
☐ Building Permit Issued	_____	___/___/___
☐ Fee collected (if applicable)	_____	___/___/___
☐ Setback(s) reviewed	_____	___/___/___

Filed on ___/___/___

Case No. 14059
Address: 753 Main St.

September 4, 2014

STAFF REPORT

The applicant has submitted an application for a Certificate of Appropriateness at 753 Main a non-contributing structure located in the Upper Main Deadwood City Planning Unit in the City of Deadwood.

Applicant: NH Alliance for Children
Owner: same
Constructed: Circa 1935

CRITERIA FOR THE ISSUANCE OF CERIFICATE OF APPROPRIATENESS

The Historic District Commission shall use the following criteria in granting or denying Certificate of Appropriateness:

General Factors:

1. Historic significance of the resource: This is a non-contributing structure located in the Deadwood City Planning Unit in the city of Deadwood. Alterations to the façade of the building resulted in loss of historic integrity.

2. Architectural design of the resource and proposed alterations: The applicant proposes to place a storage shed in the south east corner outside of the building. The shed will be painted to match the existing structure as submitted.

Attachments: Yes

Plans: No

Photos: Yes

Staff Opinion: The shed is an easily reversible alteration or change to the district; therefore, the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. The proposed work continues to remedy some of the issues which have made the building non-contributing.

Motions available for commission action:

A: Based upon the guidance found in DCO 17.68.050, I find that the proposed structure is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

OR

B: Based upon the guidance found in DCO 17.68.050, I find that the proposed structure is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

14059

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

City of Deadwood Application for ☐ Project Approval or ☒ Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work that is in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 753 Main St.

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other

Owner's Name: NH Alliance for children
Address: 753 Main St.
City: Dwd State: SD Zip: 57732
Telephone: 559-2007 Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: NA Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: NA State: A Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: Amber Vogt
Address: 678 Yosemite Way
City: Whitewood State: SD Zip: 57793
Telephone: 580-1593 Fax: _____
E-mail: avogt@lawrence.sd.us

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|--------------------------------------|---|
| ☐ Alteration (change to exterior) | ☐ New Building | ☐ Addition | ☒ Accessory Structure |
| ☐ New Construction | ☐ Re-Roofing | ☐ Wood Repair | ☐ Exterior Painting |
| ☐ General Maintenance | ☐ Siding | Other _____ | ☐ Fencing |
| ☐ Other _____ | ☐ Awning | ☐ Sign | |

Estimated Cost of Work: \$ 1,500

DEADWOOD

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Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>9/15/14</u>		Project Completion Date (anticipated): <u>10/15/14</u>	
☐ ALTERATION	☐ Front	☐ Side(s)	☐ Rear
☐ ADDITION	☐ Front	☐ Side(s)	☐ Rear
☐ NEW CONSTRUCTION	☐ Residential	☐ Other _____	
☐ ROOF	☐ New	☐ Re-roofing	
	☐ Front	☐ Side(s)	☐ Rear
☐ GARAGE	☐ New	☐ Rehabilitation	
	☐ Front	☐ Side(s)	☐ Rear
☐ FENCE/GATE	☐ New	☐ Replacement	
	☐ Front	☐ Side(s)	☐ Rear
Material _____ Style/type _____ Dimensions _____			
☐ WINDOWS	☐ STORM WINDOWS	☐ DOORS	☐ STORM DOORS
	☐ Restoration	☐ Replacement	☐ New
	☐ Front	☐ Side(s)	☐ Rear
Material _____ Style/type _____			
☐ SIGN/AWNING	☐ New	☐ Restoration	☐ Replacement
Material _____ Style/type _____ Dimensions _____			
☒ OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

6' x 12' gable style wood shed; 4' door; 7' side walls;
painted light yellow + brown to match
existing building. (see attached materials list
for specifics)

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☒ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☒ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

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DEADWOOD

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Deadwood, South Dakota 57732

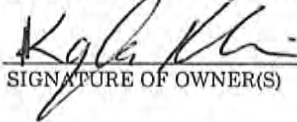
DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

SIGNATURES

I HEREBY CERTIFY that I understand this application will not be accepted and processed until all the requested information has been supplied. I realize that drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand that this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand that approval is issued for proposed work that is in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.


SIGNATURE OF OWNER(S)

8/22/14
DATE


SIGNATURE OF AGENT(S)

8/22/14
DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office and the City Clerk. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

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FOR OFFICE USE ONLY:

Please check and initial items as they are completed.

Case No.: _____ Date of Filing: _____

- ☐ Certificate of Appropriateness
- ☐ Project Approval
- ☐ Sign Application

Property Designation:

- ☐ Contributing
- ☐ Non-contributing

Historic Overlay District:

- | | | |
|--|---|--|
| ☐ 1. Pluma | ☐ 5. McGovern Hill | ☐ 9A. Large's Gulch |
| ☐ 2. Peck's Garden | ☐ 6. Ingleside | ☐ 9B. Spruce Gulch |
| ☐ 3. Cleveland | ☐ 7. Upper Main Street | ☐ 10. Fountain City |
| ☐ 4. Deadwood | ☐ 8A. City Creek | ☐ 11. 1 st Ward – Industrial |
| ☐ A. Deadwood City | ☐ 8B. Forest Hill | ☐ 12. Pinecrest |
| ☐ B. South Deadwood | ☐ 8C. Highland Park | ☐ 13. Hillside Environs |
| ☐ C. Chinatown | Addition | |
| ☐ D. Elizabeth Town | | |

Application complete

Project Documents submitted (check all that apply)

- ☐ Photographs of property and/or adjacent properties
- ☐ Drawings and/or architectural renderings
- ☐ Materials and/or color samples
- ☐ Other

Staff Preparation Initials Date below

- | | | |
|---|-------|--|
| ☐ Site Visit | _____ | ____/____/____ |
| ☐ Project visible from right-of-way? | _____ | ☐ Yes ☐ No |
| ☐ Logged into HPC Agenda | _____ | ____/____/____ |
| ☐ Staff Report (research) | _____ | ____/____/____ |
| ☐ Packet to HPC Members | _____ | ____/____/____ |

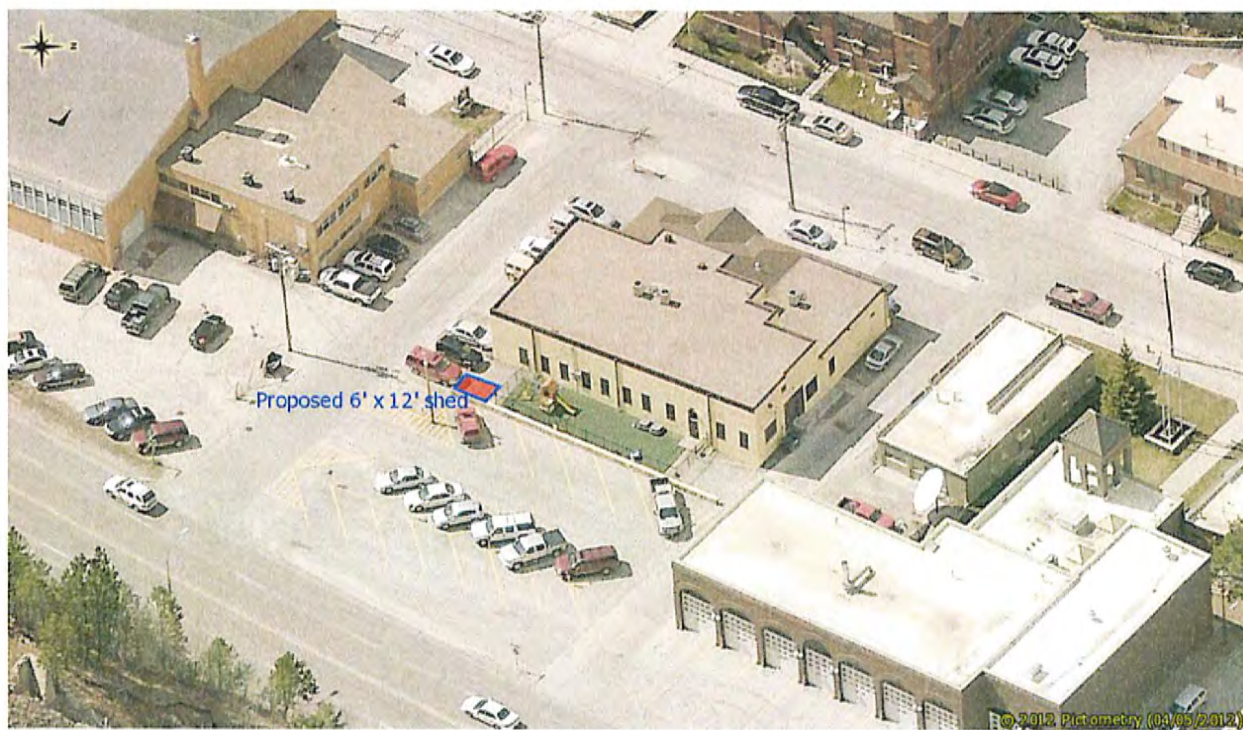
Post Meeting Documentation Initials Date below

- | | | | |
|--|---------------------------------|-------|----------------|
| ☐ Approval | ☐ Denial | _____ | ____/____/____ |
| ☐ Property owner notification | | _____ | ____/____/____ |

Building & Zoning Department (if applicable) Initials Date below

- | | | |
|--|-------|----------------|
| ☐ Building Permit Application | _____ | ____/____/____ |
| ☐ Setback(s) checked by P & Z | _____ | ____/____/____ |
| ☐ Detailed plans reviewed | _____ | ____/____/____ |
| ☐ Building Permit Issued | _____ | ____/____/____ |
| ☐ Fee collected (if applicable) | _____ | ____/____/____ |
| ☐ Setback(s) reviewed | _____ | ____/____/____ |

Filed on ____ / ____ / ____





Ziggy's

ZIEGLER BUILDING CENTER, INC.
250 South 30th Street
Spearfish, SD 57783-9744
(605) 642-8400

Estimate - 113342 -108

First Step Child Care Ctr
Deadwood, SD 57732

08/22/14
Matt Simpson

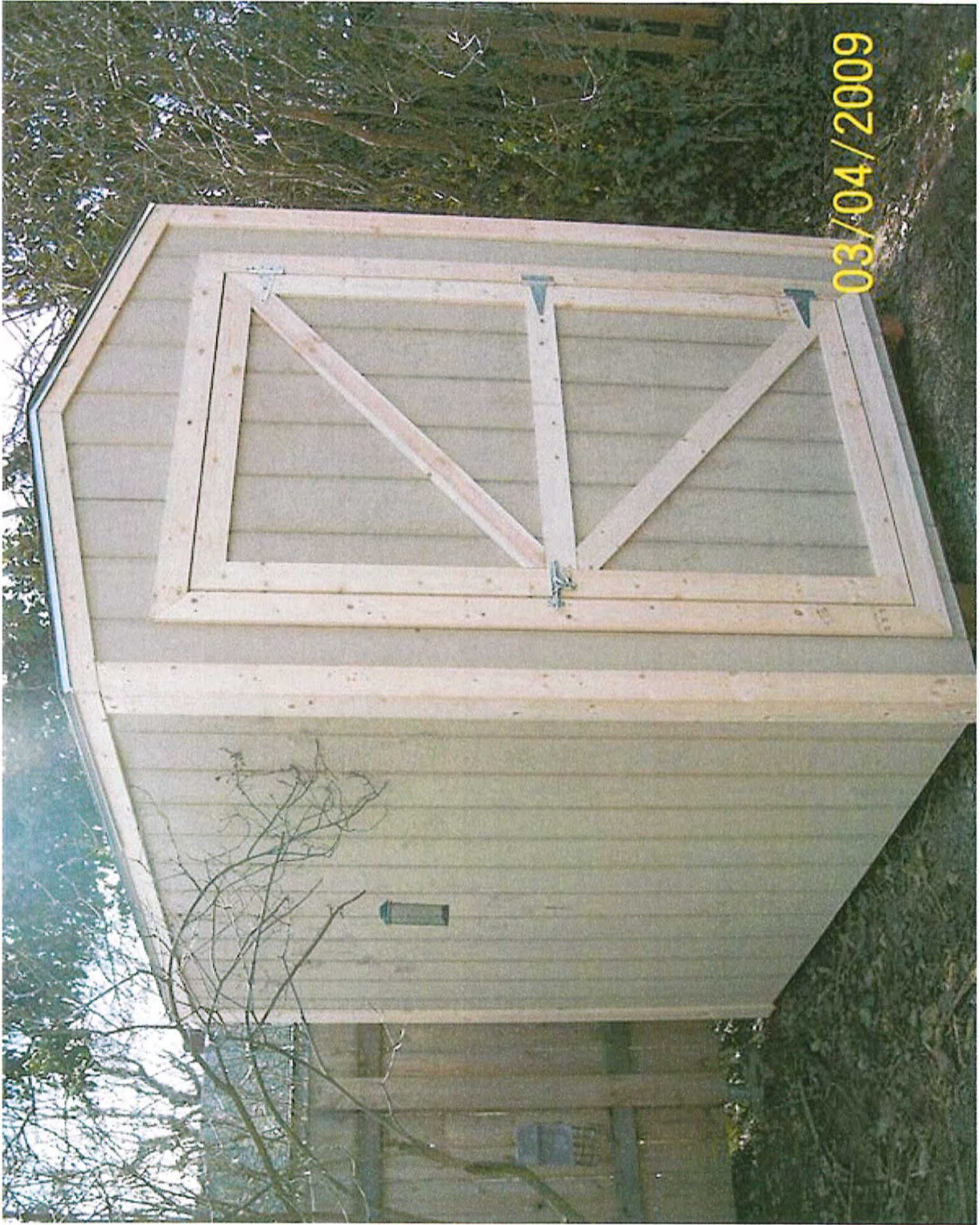
quantity	item#	description	price	amount
1	2 each	28431 4x4x12 Treated Green		
2	2 each	24562 2x6 12Ft 2 & Btr.		
3	6 each	24562 2x6 12Ft 2 & Btr.		
4	3 each	25195 4x8 3/4 CDX Plywood		
5	18 each	24558 2x4x14FT WW		
6	9 each	24557 2x4x12FT WW		
7	10 each	24348 4'X8' 7/16" Wafer Board		
8	10 each	36203 4x10x 4"O.C. Primd B Grd		
9	7 each	24555 2x4 8FT WW		
10	4 each	24557 2x4x12FT WW		
11	3 each	24348 4'X8' 7/16" Wafer Board		
12	3 bnd1	30287 Oakridge Brownwood		
13	1 bnd1	30361 Driftwood Supreme Seals		
14	8 each	24679 1x4x 8ft #2 Com		
15	2 each	24687 1x6 12Ft #2 Com		
16	14 each	24679 1x4x 8ft #2 Com		
17	3 each	29827 6" HD T-Hinge 7028640		
18	1 each	38555 Slide Actn Blt Z7021819		
19	2 each	25359 10' Style D Galv		
20	3 each	25357 10' Gutter Apron Galv		
21				
22		Gable Style Shed		
Subtotal			-	1,046.26
Tax			-	62.78
Total			-	1,109.04

7' sidewall
4' wide door

(photo shown is a 6'x8', but similar
design only 6'x12')

THANK YOU for shopping with Ziggy.

ESTIMATE is good for day printed. Prices and availability are subject to change without notice.



03/04/2009

STAFF REPORT

The applicant has submitted an application for a Certificate of Appropriateness for exterior alterations at 531 Main Street, a non-contributing structure located in the Chinatown Planning Unit, and 555 Main Street, a contributing structure located in the Deadwood City Planning Unit in the City of Deadwood.

Applicant: Four Aces / Tin Lizzie
Owner: Deadwood Parking Lots
Constructed: 1993 / Circa 1940

CRITERIA FOR THE ISSUANCE OF CERIFICATE OF APPROPRIATENESS

The Historic District Commission shall use the following criteria in granting or denying Certificate of Appropriateness:

General Factors:

1. Historic significance of the resource: The structure located at 531 Main is a non-contributing structure due to alterations made to the façade of the building resulting in loss of historic integrity. The structure located at 555 Main is contributing and was built as a gas station, auto repair garage and parts store; this building is made up of several additions to a small central core. It was operated for many years by Eddie Rypkema, Mayor of Deadwood from 1948-1952.

2. Architectural design of the resource and proposed alterations: The applicant would like approval to build a connector without windows between Tin Lizzie and the Four Aces. The dimensions are approximately 8' long by 14' wide by 10' tall; Exterior finish will be a dark brown brick, matching the brick on the Four Aces, as submitted.

Attachments: Yes

Plans: Yes

Photos: Yes

Staff Opinion: The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



Motions available for commission action:

A: Based upon the guidance found in DCO 17.68.050, I find that the proposed structure is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

OR

B: Based upon the guidance found in DCO 17.68.050, I find that the proposed structure is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

14060

OFFICE OF
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Fax (605) 578-2084

DEADWOOD

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Deadwood, South Dakota 57732

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City of Deadwood Application for ☐ Project Approval or ☒ Certificate of Appropriateness

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108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION	
Property Address:	555 MAIN ST / 531 MAIN ST
Historic Name of Property (if known):	TIN LIZZIE / FOUR ACES

APPLICANT INFORMATION	
Applicant is ☐ owner ☐ contractor ☒ architect ☐ consultant ☐ other _____	

Owner's Name: DEADWOOD PARKING LOTS
Address: 502 WEST BLVD
City: RAPID CITY State: SD Zip: 57701
Telephone: 605-341-0500 Fax: _____
E-mail: donnie.patton@isishospitalityllc.com

Architect's Name: CHAMBERLIN ARCHITECTS
Address: 725 ST JOSEPH, STE B1
City: RAPID CITY State: SD Zip: 57701
Telephone: 605-355-6804 Fax: _____
E-mail: bburns@chamberlinarchitects.com

Contractor's Name: A-1 CONSTRUCTION, INC
Address: 1897 E. CENTRE ST.
City: RAPID CITY State: SD Zip: 57709
Telephone: 605-348-6148 Fax: _____
E-mail: vaughna.1@rushmore.com

Agent's Name: BRAD BURNS-CHAMBERLIN ARCHITECTS
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
☐ Alteration (change to exterior)	☐ New Building	☒ Addition	☐ Accessory Structure
☐ New Construction	☐ Re-Roofing	☐ Wood Repair	☐ Exterior Painting
☐ General Maintenance	☐ Siding	Other _____	☐ Fencing
☐ Other _____	☐ Awning	☐ Sign	
Estimated Cost of Work: \$ 80,000			

DEADWOOD

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Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
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ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
☐ ALTERATION	☐ Front	☐ Side(s)	☐ Rear
☒ ADDITION	☐ Front	☒ Side(s)	☐ Rear
☐ NEW CONSTRUCTION	☐ Residential		☐ Other _____
☐ ROOF	☐ New	☐ Re-roofing	
	☐ Front	☐ Side(s)	☐ Rear
☐ GARAGE	☐ New	☐ Rehabilitation	
	☐ Front	☐ Side(s)	☐ Rear
☐ FENCE/GATE	☐ New	☐ Replacement	
	☐ Front	☐ Side(s)	☐ Rear
Material _____ Style/type _____ Dimensions _____			
☐ WINDOWS	☐ STORM WINDOWS	☐ DOORS	☐ STORM DOORS
☐ Restoration		☐ Replacement	☐ New
☐ Front		☐ Side(s)	☐ Rear
Material _____ Style/type _____			
☐ SIGN/AWNING	☐ New	☐ Restoration	☐ Replacement
Material _____ Style/type _____ Dimensions _____			
☐ OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

THE ADDITION WILL BE A CONNECTOR BETWEEN TIN LIZZIE & FOUR ACES.

THE DIMENSIONS ARE APPROXIMATELY 8' LONG BY 14' WIDE BY 10' TALL.

THE EXTERIOR FINISH WILL BE A DARK BROWN BRICK, MATCHING

THE BRICK ON FOUR ACES. THERE WILL BE NO WINDOWS.

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
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- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

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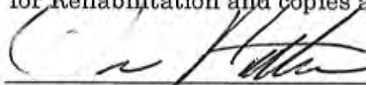
DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

SIGNATURES

I HEREBY CERTIFY that I understand this application will not be accepted and processed until all the requested information has been supplied. I realize that drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

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I understand that approval is issued for proposed work that is in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

	8-28-14		8/27/14
SIGNATURE OF OWNER(S)	DATE	SIGNATURE OF AGENT(S)	DATE

_____ SIGNATURE OF OWNER(S)	_____ DATE	_____ SIGNATURE OF AGENT(S)	_____ DATE
--------------------------------	---------------	--------------------------------	---------------

_____ SIGNATURE OF OWNER(S)	_____ DATE	_____ SIGNATURE OF AGENT(S)	_____ DATE
--------------------------------	---------------	--------------------------------	---------------

APPLICATION DEADLINE

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FOR OFFICE USE ONLY:

Please check and initial items as they are completed.

Case No.: _____ Date of Filing: _____

- ☐ Certificate of Appropriateness
- ☐ Project Approval
- ☐ Sign Application

Property Designation:

- ☐ Contributing
- ☐ Non-contributing

Historic Overlay District:

- | | | |
|--|---|--|
| ☐ 1. Pluma | ☐ 5. McGovern Hill | ☐ 9A. Large's Gulch |
| ☐ 2. Peck's Garden | ☐ 6. Ingleside | ☐ 9B. Spruce Gulch |
| ☐ 3. Cleveland | ☐ 7. Upper Main Street | ☐ 10. Fountain City |
| ☐ 4. Deadwood | ☐ 8A. City Creek | ☐ 11. 1 st Ward – Industrial |
| ☐ A. Deadwood City | ☐ 8B. Forest Hill | ☐ 12. Pinecrest |
| ☐ B. South Deadwood | ☐ 8C. Highland Park | ☐ 13. Hillside Environs |
| ☐ C. Chinatown | Addition | |
| ☐ D. Elizabeth Town | | |

Application complete

Project Documents submitted (check all that apply)

- ☐ Photographs of property and/or adjacent properties
- ☐ Drawings and/or architectural renderings
- ☐ Materials and/or color samples
- ☐ Other

Staff Preparation

Initials

Date below

- | | | |
|---|-------|--|
| ☐ Site Visit | _____ | ____/____/____ |
| ☐ Project visible from right-of-way? | _____ | ☐ Yes ☐ No |
| ☐ Logged into HPC Agenda | _____ | ____/____/____ |
| ☐ Staff Report (research) | _____ | ____/____/____ |
| ☐ Packet to HPC Members | _____ | ____/____/____ |

Post Meeting Documentation

Initials

Date below

- | | | | |
|--|---------------------------------|-------|----------------|
| ☐ Approval | ☐ Denial | _____ | ____/____/____ |
| ☐ Property owner notification | | _____ | ____/____/____ |

Building & Zoning Department (if applicable)

Initials

Date below

- | | | |
|--|-------|----------------|
| ☐ Building Permit Application | _____ | ____/____/____ |
| ☐ Setback(s) checked by P & Z | _____ | ____/____/____ |
| ☐ Detailed plans reviewed | _____ | ____/____/____ |
| ☐ Building Permit Issued | _____ | ____/____/____ |
| ☐ Fee collected (if applicable) | _____ | ____/____/____ |
| ☐ Setback(s) reviewed | _____ | ____/____/____ |

Filed on ____/____/____

TIN LIZZIE CASINO

DEADWOOD, SOUTH DAKOTA

VICINITY MAP



OWNER

TIN LIZZIE CASINO
555 Main Street
Deadwood, SD 57502

DESIGN TEAM

ARCHITECT:
CHAMBERLIN ARCHITECTS
725 St Joseph Street, Suite B1
Deadwood, SD 57501
(605) 255-8504

DRAWING LIST

GENERAL	COVER SHEET
G001	
ARCHITECTURAL	
A001	NOTES, SYMBOLS, ABBREVIATIONS AND WALL TYPES
A101	FIRST FLOOR PLAN & DEMO PLAN
A501	BUILDING SECTIONS & EXTERIOR ELEVATIONS
A501	ARCHITECTURAL DETAILS

PRELIMINARY

TIN LIZZIE CASINO

DEADWOOD, SOUTH DAKOTA

COVER SHEET

REV	DESCRIPTION	DATE
1	1	1
2	2	2
3	3	3
4	4	4
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95	95	95
96	96	96
97	97	97
98	98	98
99	99	99
100	100	100

PROJECT STATUS: 100%
CONSTRUCTION DOCUMENTS

DATE	REVISION	BY	DATE
8.27.14			
PROJECT NO	SHEET NO	DESIGNER	DATE
1433	G001		

PRELIMINARY

TIN LIZZIE CASINO

DEADWOOD, SOUTH DAKOTA

FIRST FLOOR PLAN
& DEMO PLAN

NO. 100

DATE: 8.27.14

PROJECT STATUS: 100%
CONSTRUCTION DOCUMENTS

DRAWN BY: CAH

CHECKED BY: BR

DATE: 8.27.14

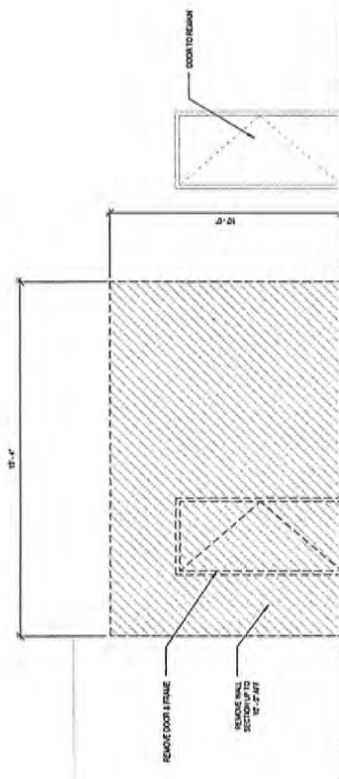
SHEET NO:

A101

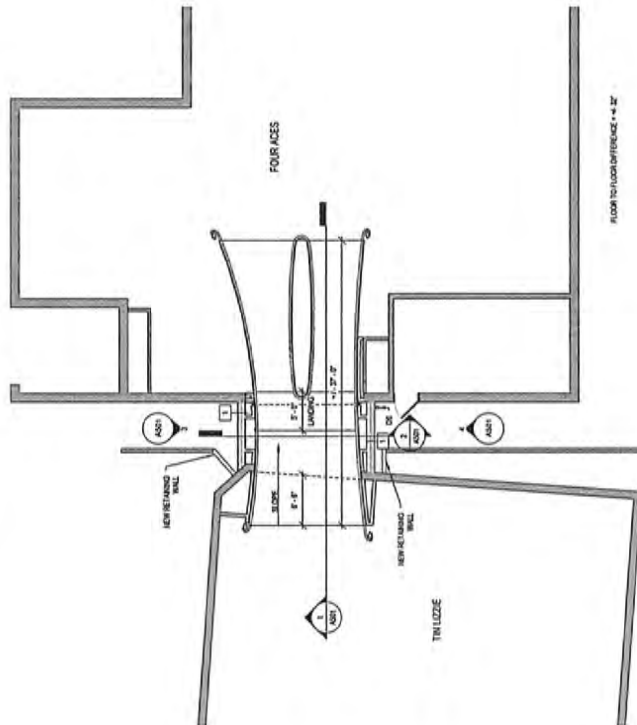
PROJECT NO:
1423



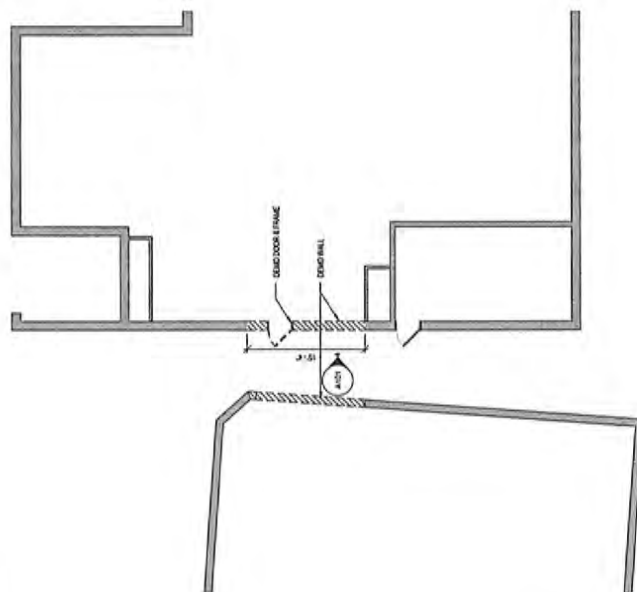
3 ROOF PLAN



4 FOUR ACES DEMO ELEVATION



1 MAIN FLOOR



2 MAIN FLOOR DEMO PLAN

DEMO LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW WALL
	NEW WALL TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	NEW DOOR

LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL TO REMAIN
	NEW WALL
	NEW WALL TO REMAIN
	EXISTING DOOR TO BE REMOVED
	EXISTING DOOR TO REMAIN
	NEW DOOR

PRELIMINARY

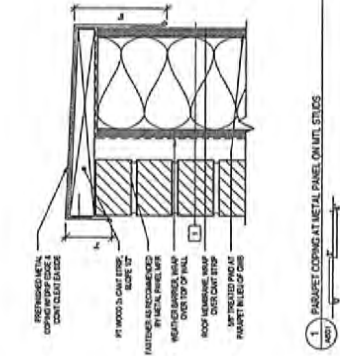
TIN LIZZIE CASINO

DEADWOOD, SOUTH DAKOTA

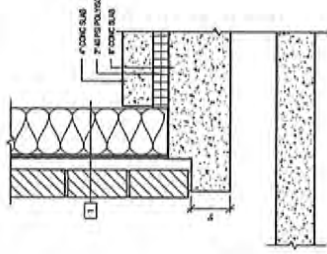
ARCHITECTURAL
DETAILS

PROJECT STATUS: 100%
CONSTRUCTION DOCUMENTS
DRAWN BY: A.
CHECKED BY: BB

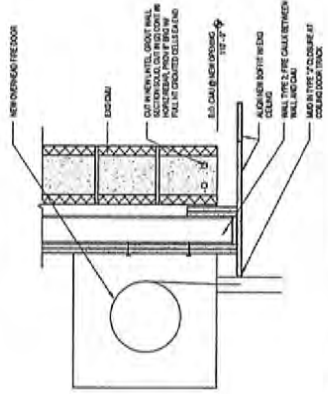
DATE: 8.27.14
SHEET NO: A601
PROJECT NO: 1423



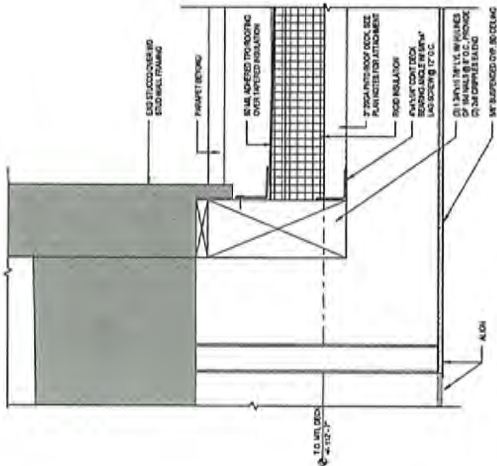
1. PARAPET COPING AT METAL PANEL ON UTIL. STRUCT.



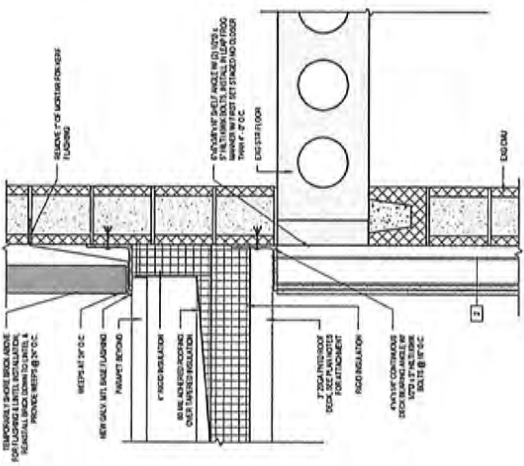
2. WALL BASE DETAIL



3. CHIMNEY DETAIL



4. HIGH HEADER DETAIL



5. ROOF DETAIL



Date: September 4, 2014

Case No. 14054

Address: 20861 Spruce Gulch

Staff Report

The applicant has submitted an application for Project Approval for the replacement of the communications tower and antennas at 20861 Spruce Gulch a non-contributing structure located in the Hillside Environs Planning Unit in the City of Deadwood.

Applicant: New Cingular Wireless PCS, LLC / AT&T

Owner: Same

Constructed: 1999

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource: This structure was constructed in approximately 1999 as part of the telecommunications site. Due to its age it does not contribute to the Deadwood National Historic Landmark District. The tower was placed below White Rocks and painted a deep green to blend into the environment of the ponderosa pines in the area.

2. Architectural design of the resource and proposed alterations: The applicant requests permission to replace old tower with new tower which is able to support their upgraded antennas and equipment as submitted.

Attachments: Yes

Plans: Yes

Photos: Yes

Staff Opinion: Since a tower already exists and is not too visible from the National Historic Landmark District and the replacement tower is not larger, it is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

City of Deadwood Application for ☒ Project Approval or ☐ Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work that is in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 20861 Spruce Gulch Rd. Deadwood, SD 57732

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is ☒ owner ☐ contractor ☐ architect ☒ consultant ☐ other _____

Owner's Name: New Cingular Wireless PCS, LLC/AT&T
Address: 575 Morosgo Drive, 13-F West Tower
City: Atlanta State: GA Zip: 30324
Telephone: 952-944-1858 Fax: 952-944-1506
E-mail: K.Schultz@velocitel.com

Engineer's Name: William Panek
Address: 1701 American Blvd. E. Suite 16
City: Bloomington State: MN Zip: 55425
Telephone: 770-645-5900 Fax: 952-944-1506
E-mail: B.Panek@velocitel.com

Contractor's Name: Velocitel
Address: 1701 American Blvd. E. Suite 16
City: Bloomington State: MN Zip: 55425
Telephone: 952-944-1858 Fax: 952-944-1506
E-mail: B.Boucher@velocitel.com

Agent's Name: Kent Schultz
Address: 1701 American Blvd. E. Suite 16
City: Bloomington State: MN Zip: 55425
Telephone: 952-944-1858 Fax: 952-944-1506
E-mail: K.Schultz@velocitel.com

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|--------------------------------------|--|
| ☐ Alteration (change to exterior) | ☐ New Building | ☐ Addition | ☐ Accessory Structure |
| ☐ New Construction | ☐ Re-Roofing | ☐ Wood Repair | ☐ Exterior Painting |
| ☐ General Maintenance | ☐ Siding | Other _____ | |
| ☒ Other <u>Tower replacement</u> | ☐ Awning | ☐ Sign | ☐ Fencing |

Estimated Cost of Work: \$ 40,000

OFFICE OF
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ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>5-1-15</u>		Project Completion Date (anticipated): <u>7-1-15</u>	
☒ ALTERATION	☐ Front	☐ Side(s)	☐ Rear
☐ ADDITION	☐ Front	☐ Side(s)	☐ Rear
☒ NEW CONSTRUCTION	☐ Residential	☒ Other <u>Tower Replacement</u>	
☐ ROOF	☐ New	☐ Re-roofing	
	☐ Front	☐ Side(s)	☐ Rear
☐ GARAGE	☐ New	☐ Rehabilitation	
	☐ Front	☐ Side(s)	☐ Rear
☐ FENCE/GATE	☐ New	☐ Replacement	
	☐ Front	☐ Side(s)	☐ Rear
Material _____		Style/type _____ Dimensions _____	
☐ WINDOWS	☐ STORM WINDOWS	☐ DOORS	☐ STORM DOORS
	☐ Restoration	☐ Replacement	☐ New
	☐ Front	☐ Side(s)	☐ Rear
Material _____		Style/type _____	
☐ SIGN/AWNING	☐ New	☐ Restoration	☐ Replacement
Material _____		Style/type _____ Dimensions _____	
☐ OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Existing Communication Tower unable to support upgraded antennas/equipment

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☒ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- ☒ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☒ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☒ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

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SIGNATURES

I HEREBY CERTIFY that I understand this application will not be accepted and processed until all the requested information has been supplied. I realize that drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand that this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand that approval is issued for proposed work that is in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office and the City Clerk. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

DEADWOOD

"The Historic City of the Black Hills"

Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

FOR OFFICE USE ONLY:

Please check and initial items as they are completed.

Case No.: _____ Date of Filing: _____

- ☐ Certificate of Appropriateness
- ☐ Project Approval
- ☐ Sign Application

Property Designation: _____

- ☐ Contributing
- ☐ Non-contributing

Historic Overlay District: _____

- | | | |
|--|---|--|
| ☐ 1. Pluma | ☐ 5. McGovern Hill | ☐ 9A. Large's Gulch |
| ☐ 2. Peck's Garden | ☐ 6. Ingleside | ☐ 9B. Spruce Gulch |
| ☐ 3. Cleveland | ☐ 7. Upper Main Street | ☐ 10. Fountain City |
| ☐ 4. Deadwood | ☐ 8A. City Creek | ☐ 11. 1 st Ward – Industrial |
| ☐ A. Deadwood City | ☐ 8B. Forest Hill | ☐ 12. Pinecrest |
| ☐ B. South Deadwood | ☐ 8C. Highland Park | ☐ 13. Hillside Environs |
| ☐ C. Chinatown | Addition | |
| ☐ D. Elizabeth Town | | |

Application complete _____

Project Documents submitted (check all that apply)

- ☐ Photographs of property and/or adjacent properties
- ☐ Drawings and/or architectural renderings
- ☐ Materials and/or color samples
- ☐ Other

Staff Preparation _____ Initials _____ Date below _____

- | | | |
|---|-------|--|
| ☐ Site Visit | _____ | ____/____/____ |
| ☐ Project visible from right-of-way? | _____ | ☐ Yes ☐ No |
| ☐ Logged into HPC Agenda | _____ | ____/____/____ |
| ☐ Staff Report (research) | _____ | ____/____/____ |
| ☐ Packet to HPC Members | _____ | ____/____/____ |

Post Meeting Documentation _____ Initials _____ Date below _____

- | | | |
|--|---------------------------------|----------------|
| ☐ Approval | ☐ Denial | ____/____/____ |
| ☐ Property owner notification | _____ | ____/____/____ |

Building & Zoning Department (if applicable) _____ Initials _____ Date below _____

- | | | |
|--|-------|----------------|
| ☐ Building Permit Application | _____ | ____/____/____ |
| ☐ Setback(s) checked by P & Z | _____ | ____/____/____ |
| ☐ Detailed plans reviewed | _____ | ____/____/____ |
| ☐ Building Permit Issued | _____ | ____/____/____ |
| ☐ Fee collected (if applicable) | _____ | ____/____/____ |
| ☐ Setback(s) reviewed | _____ | ____/____/____ |

Filed on ____ / ____ / ____

20861 Spruce Gulch Rd. Existing Tower





Corporate Headquarters
211 W. Washington St.
Suite 2000
South Bend, IN 46601
(800) 806-3556
Fax: (574) 288-5860

7/30/2014

Velocitel, Inc.

1701 American Blvd East Suite 16
Bloomington, MN 55425

Attn.: Bryan Boucher
(952) 426-4429
b.boucher@velocitel.com

Per your request, please review our quotation #53978 for a 85' tall Nello Model NTP Pole Tower for Deadwood Relo.

If you have any questions or require further information, please feel free to contact me at (800) 806-3556, ext. 1231 or email me at cyancy@nelloinc.com.

Thank you for the opportunity to earn your business.

Sincerely,

Nello Corporation

Claire Yancy

Enclosure: Per Above

A_G



Quotation

53978

Nello Inside Contact

Claire Yancy

Office: (800)806-3556 Ext.: 1231

Email: cyancy@nelloinc.com

Fax: (574)288-5860

Quotation Prepared For

Velocitel, Inc.

Bryan Boucher
1701 American Blvd East Suite 16
Bloomington, MN 55425
Phone: (952) 426-4429
Email: b.boucher@velocitel.com

Quote Date: 7/30/2014

Expires: 8/29/2014

Tower Type

Pole

Site Location / Reference

Deadwood Relo

FOB

Terms

Fort Worth, TX

TBD

Tower Design Parameters

The tower has been designed for a basic wind speed of 90 mph with 0-in of radial ice in accordance with ANSI/TIA-222-G.

The tower has also been designed for a basic wind speed of 60 mph with 0.25-in of radial ice in accordance with ANSI/TIA-222-G.

The tower has been designed with a twist/sway limit per EIA/TIA-222-G.

Revision G Parameters: Topo. Category - 4

Tower Items

Quantity Unit Price Sub-Total

Tower Configuration (85' Tower)

Item	Quantity	Unit Price	Sub-Total
Pipe, Exposure Category C, Structure Class 2	1	\$18,152.00	\$18,152.00

Materials to be provided include:

All necessary tower sections and assembly hardware.

Hot dip galvanized after fabrication.

Step bolts for climbing.

Freight Items

Estimated freight charges to ship anchor steel prior to tower shipment.	\$450.00
---	----------

Estimated freight charges with unloading by others to the nearest access point to the site. (One truck needed)	\$3,312.00
--	------------

Optional Items

Item	Description	Quantity	Unit Price	Sub-Total
100131	Two Post Waveguide Bridge Kit, 24" x 10'. Triple Level Trapeze, Two 14' burial posts.	1	\$510.18	\$510.18
110281	NTP Safety Climb Kit, 200'. Includes Cable and Guides.	1	\$617.76	\$617.76
111527	Grounding Assembly for Base of NSX/NGX/NTP Tower TIA-222-G	1	\$182.00	\$182.00
158484	5/8" x 6' Copper Clad Lightning Rod (includes hardware)	1	\$76.50	\$76.50
171260	Anchor Bolts and Embedment Plates	1	\$2,250.00	\$2,250.00



Quotation

53978

Nello Inside Contact

Claire Yancy

Office: (800)806-3556 Ext.: 1231

Email: cyancy@nelloinc.com

Fax: (574)288-5860

Quotation Prepared For

Velocitel, Inc.

Bryan Boucher
1701 American Blvd East Suite 16
Bloomington, MN 55425
Phone: (952) 426-4429
Email: b.boucher@velocitel.com

Quote Date: 7/30/2014

Expires: 8/29/2014

Tower Type

Pole

Site Location / Reference

Deadwood Relo

FOB

Fort Worth, TX

Terms

TBD

ENG-F	Conventional foundation design based on customer supplied soil report with or without State PE seal. (State seal specified by customer)	1	\$600.00	\$600.00
ENG-SS	Site specific tower drawings with or without state PE seal (as specified by customer)	1	\$600.00	\$600.00
Factory Paint	Factory Paint (Green) for full height of tower	1	\$3,682.39	\$3,682.39



Quotation

53978

Nello Inside Contact

Claire Yancy

Office: (800)806-3556 Ext.: 1231

Email: cyancy@nelloinc.com

Fax: (574)288-5860

Quotation Prepared For

Velocitel, Inc.

Bryan Boucher
1701 American Blvd East Suite 16
Bloomington, MN 55425
Phone: (952) 426-4429
Email: b.boucher@velocitel.com

Quote Date:	7/30/2014
-------------	-----------

Expires:	8/29/2014
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Tower Type

Pole

Site Location / Reference

Deadwood Relo

FOB

Fort Worth, TX

Terms

TBD

Antenna / Mount Loading

Item	Quantity	Height (Ft)
800-10692	6	83
E15S09	2	83
MTC3607 - Low Profile Platform	1	83
BCD-80010	2	83
09010	1	83
Panel-106x18x13	3	83
Raycap DC6-48-60	2	83
6' Lightning Rod	1	85
Diplexer	6	83
Raycap DC6-48-60	2	73
E15S09	2	73
09010	1	73
Diplexer	6	73
BCD-80010	2	73
MTC3607 - Low Profile Platform	1	73
Panel-106x18x13	3	73
800-10692	6	73

Feedline Loading

Item	Quantity	Height (Ft)
LDF7-50A (1-5/8 FOAM)	3	83
LDF5-50A (7/8 FOAM)	9	83
LDF7-50A (1-5/8 FOAM)	3	73



Quotation

53978

Nello Inside Contact

Claire Yancy

Office: (800)806-3556 Ext.: 1231

Email: cyancy@nelloinc.com

Fax: (574)288-5860

Quotation Prepared For

Velocitel, Inc.

Bryan Boucher
1701 American Blvd East Suite 16
Bloomington, MN 55425
Phone: (952) 426-4429
Email: b.boucher@velocitel.com

Quote Date:	7/30/2014
--------------------	-----------

Expires:	8/29/2014
-----------------	-----------

Tower Type

Pole

Site Location / Reference

Deadwood Relo

FOB	Terms
Fort Worth, TX	TBD

LDF5-50A (7/8 FOAM)

9

73



Quotation

53978

Nello Inside Contact

Claire Yancy

Office: (800)806-3556 Ext.: 1231

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Quote Date: 7/30/2014

Expires: 8/29/2014

Tower Type

Pole

Site Location / Reference

Deadwood Relo

FOB

Fort Worth, TX

Terms

TBD

Notes

Typical lead times are 7-9 weeks for fabrication upon acceptance of order and drawings/anchor steel to follow within 3 weeks of order. Please see Additional Item notes above for specifically requested lead times.

Note: Loaded (3) Panel-106x18x13 and (6) diplexers (7x7x3) at 83' and 73' carrier level for design purposes. Substitutions may change tower price/design.

Note: per "Note 1" of design notes on sheet number T-1, loaded a minimum second carrier at 73' for design purposes. Substitutions may change tower price/design.

Note: Mounts by others.

Purchaser agrees to accept delivery on the mutually agreed to delivery date. If this date passes and the product is completed and staged for delivery, the Purchaser agrees that the transaction will be on a "bill and hold" basis. In accepting the bill and hold transaction, the Purchaser acknowledges that it has accepted title to the goods, including all risks of ownership and that the order is a fixed commitment to purchase goods from Nello Corporation. Quotation subject to Nello Corporation's Terms and Conditions.

Storage charges of \$350.00 per month may apply starting 60 days after original scheduled ship date.

Dimensional information is preliminary only; it may change upon final design.

The effects of torsion HAVE NOT been considered in the EPA values shown. These EPA values are correct for symmetrically loaded instances where torque is not present (such as one top mounted antenna at the center of the tower, or three leg mounted panel antennas symmetrically mounted around the tower). Should torque be present, the allowable EPA value shown will be reduced. In some cases this reduction will be significant. Please consult a Nello representative to determine if torque needs to be considered and how much the allowable EPA value will be reduced due to its inclusion.

Due to the fluctuation in material price any structure order placed on hold is subject to a price review at the time of its release from hold status. This may cause an increase in price to occur.

Due to the fluctuation in material price, Nello reserves the right to review all material pricing prior to accepting any order.

All Nello mounts are quoted with support pipes of appropriate length for most applications if not otherwise specified. If different support pipe lengths are required at the time of the order, additional costs may be incurred.

All sector mounts are quoted at default azimuths of 120 degrees apart if not otherwise specified. Any changes in the sector azimuths may result in additional charges and/or an increase in delivery lead times.

Freight charges quoted are for provided materials only. Additional freight charges may be incurred with the order of additional items.

Estimates for freight are only estimates, actual freight charges will be invoiced at the time of shipment.

This quotation does not include any sales, use, excise, contractors or any other taxes not specifically detailed in this proposal.

If a Customer requests to pick up a tower, a \$300.00 per truck charge may apply for damage and loading.



Quotation

53978

Nello Inside Contact

Claire Yancy

Office: (800)806-3556 Ext.: 1231

Email: cyancy@nelloinc.com

Fax: (574)288-5860

Quotation Prepared For

Velocitel, Inc.

Bryan Boucher
1701 American Blvd East Suite 16
Bloomington, MN 55425
Phone: (952) 426-4429
Email: b.boucher@velocitel.com

Quote Date:	7/30/2014
--------------------	-----------

Expires:	8/29/2014
-----------------	-----------

Tower Type

Pole

Site Location / Reference

Deadwood Relo

FOB

Fort Worth, TX

Terms

TBD

This quotation is based on the terms and conditions proposed above including the standard terms and conditions at www.nelloinc.com and is subject to our review and final acceptance of your order. No other terms are valid unless signed by an authorized officer of Nello Corporation.

Submitted By: Nello Corporation

Claire Yancy

Acceptance of Customer:

Please enter our order for the above items in accordance with this proposal.

Signature: _____

Name (print): _____

Title: _____

Purchase Order: _____

Date: _____

85.0 ft

Section	1	2	
Length (ft)	36.30	53.00	
Number of Sides	18	18	
Thickness (in)	0.2500	0.3125	
Socket Length (ft)	4.30		
Top Dia (in)	20.0000	29.5302	
Bot Dia (in)	31.3771	46.2250	
Grade		A572-65	
Weight (lb)	3241.1	8735.7	11976.8

48.7 ft

0.0 ft

DESIGNED APPURTENANCE LOADING

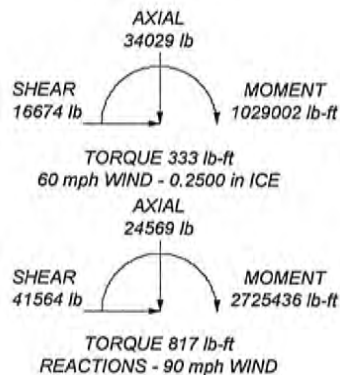
TYPE	ELEVATION	TYPE	ELEVATION
6' Lightning Rod	85	(2) BCD-80010	73
(2) 800-10692	83	09010	73
(2) 800-10692	83	(2) Diplexer	73
(2) 800-10692	83	(2) Diplexer	73
(2) BCD-80010	83	(2) Diplexer	73
09010	83	Raycap DC6-48-60	73
(2) Diplexer	83	Raycap DC6-48-60	73
(2) Diplexer	83	E15S09	73
Raycap DC6-48-60	83	E15S09	73
Raycap DC6-48-60	83	MTC3607 - Low Profile Platform	73
E15S09	83	(2) 800-10692	73
E15S09	83	(2) 800-10692	73
MTC3607 - Low Profile Platform	83	(2) 800-10692	73
Panel-106x18x13	83	Panel-106x18x13	73
Panel-106x18x13	83	Panel-106x18x13	73
Panel-106x18x13	83	Panel-106x18x13	73

MATERIAL STRENGTH

GRADE	Fy	Fu	GRADE	Fy	Fu
A572-65	65 ksi	80 ksi			

TOWER DESIGN NOTES

1. Tower designed for Exposure C to the TIA-222-G Standard.
2. Tower designed for a 90 mph basic wind in accordance with the TIA-222-G Standard.
3. Tower is also designed for a 60 mph basic wind with 0.25 in ice. Ice is considered to increase in thickness with height.
4. Deflections are based upon a 60 mph wind.
5. Tower Structure Class II.
6. Topographic Category 4 with Crest Height of 450.00 ft
7. TOWER RATING: 97.5%

ALL REACTIONS
ARE FACTORED

Nello Corporation
 211 W. Washington Suite 2000
 South Bend, IN
 Phone: (800) 806-3556
 FAX: (574) 288-5860

Job: **RFQ53978**
 Project:
 Client: **Velocitel, Inc.** Drawn by: **ageyer** App'd:
 Code: **TIA-222-G** Date: **07/29/14** Scale: **NTS**
 Path: **N:\enb Proposals\53905\53978.enb** Dwg No. **E-1**



N E L L O
CORPORATION

211 W. Washington St
Suite 20000
South Bend, IN 46601
574-288-3632 (phone)
574-288-5860 (fax)
www.nelloinc.com

v2.01

Quote Number: 53978

Tower Model:

Company: Velocitel, Inc.
Site Name: Deadwood Relo
County: Lawrence
State: SD

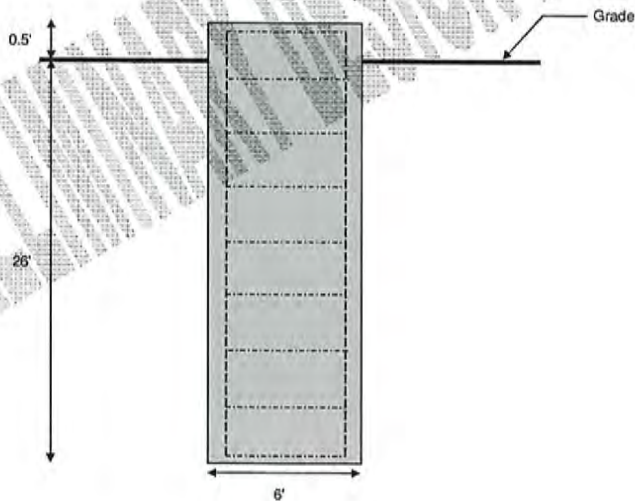
Preliminary Design Summary

Foundation Dimensions	
Depth	26'
Pier Extension	0.5'
Pier Diameter	6'
Clear Cover	3"
Volume	27.8 cubic yards
Pier Reinforcement	
Quantity	44
Size	#9
Length	312"
Weight	3890.0 lb
Tie Reinforcement	
Quantity	20
Size	#4
Total Length	220.6"
Weight-Total	246.0 lb

Preliminary Design, DO NOT INSTALL

Submitted Soil Report - Weathered Limestone Located @ 0-ft bgs

* Not to scale, shown with typical reinforcement pattern





Corporate Headquarters

211 W. Washington St.
Suite 2000
South Bend, IN 46601
Phone: (800) 806-3556
Fax: 574-288-5860
www.nelloinc.com

- CLASSIFICATION SUMMARY -

EXPOSURE CATEGORIES

***Default:** Exposure C

Exposure categories consider the surface roughness of the ground. Roughness is determined by type and prevalence of ground obstructions such as general topography, vegetation and constructed features that will decrease wind speed near the ground.

Exposure B: Terrain characterized by the prevalence of crowded obstructions such as urban, suburban or wooded landscapes. Surface features must be of comparable size to single-family homes or larger. Such consistent terrain must encircle the tower for the greater distance of a minimum 2,600 ft or 20 times the height of the tower.

Exposure C: Terrain characterized by an open landscape with dispersed obstructions generally less than 30 ft in height such as open country, grasslands and shorelines in hurricane prone regions. Includes sites within Exposure B terrain where it is located less than 20 times the height of the structure from but more than 2 miles from terrain consistent with Exposure D.

Exposure D: Terrain characterized by flat, unobstructed shorelines susceptible to winds moving across open water for a minimum distance of 1 mile (non-hurricane regions). This terrain includes inland waterways, lakes, non-hurricane coastal areas, mud flats, salt flats and those alike. This exposure applies inland for the greater distance of 660 ft or 20 times the height of the tower.

STRUCTURE CLASSIFICATION

***Default:** Class II

Structure classes consider the risk if critical failure were to occur to a specific tower. These risks are based upon the height, use or location of the tower.

Class I: Risk represents a low hazard to human life and property damage. Tower importance is consistent with services that are not required or where a delay in returning services is permissible. [*e.g. residential wireless and conventional 2-way radio communications; television, radio and scanner reception; wireless cable; amateur and CB radio communications*]

Class II: Risk represents a significant hazard to human life and/or property damage. Tower importance is consistent with services that may be supported in another manner. [*e.g. commercial wireless communications; television and radio broadcasting; cellular, PCS, CATV, and microwave communications*]

Class III: Risk represents a substantial hazard to human life and/or property damage. Tower importance is consistent with services that are predominantly used for essential purposes. [*e.g. civil or national defense; emergency, rescue or disaster operations; military and navigation facilities*]



SITE PHOTO

PROJECT INFORMATION

SITE ADDRESS:
20861 SPRUCE GULCH RD
DEADWOOD, SD 57732

ZONING JURISDICTION:
BLM

ZONING DESIGNATION:
FOREST

PARENT PARCEL NUMBER/ID:
COPY LOT 3

COUNTY:
LAWRENCE

NEW SITE NAME:
DEADWOOD RELO

EXISTING SITE NAME:
DEADWOOD

NEW SITE NUMBER:
MPLSSDU4853

EXISTING SITE NUMBER:
MPLSSDU4576

NEW FA NUMBER:
11596393 - PTN [NSB]: 3520468005

EXISTING FA NUMBER:
10136004 - PTN [MDS]: 3520374414

NEW LOTS NUMBER:
131951

EXISTING LOTS NUMBER:
108168

NEW LATITUDE:
N44° 22' 20.528" NAD83

NEW LONGITUDE:
W103° 45' 14.102" NAD83

EXISTING LATITUDE:
N40°41' 39" 20.557" NAD83

EXISTING LONGITUDE:
W103° 45' 14.445" NAD83

NEW TOWER GROUND ELEVATION:
5100.5' NNVD83

EXISTING TOWER GROUND ELEVATION:
5100.7' NNVD83

TOWER OWNER:
AT&T TOWERS

PROSPECTY OWNER:
BLM

PROJECT CONTACTS

OWNER REP:
AT&T MOBILITY
4300 MARKET POINTE DR
BLOOMINGTON, MN 55425
CONTACT: JON COFFLEY
PHONE: (652) 944-1659 x107

OWNER REP:
VELOCITEL INC.
1701 AMERICAN BLVD EAST, STE 16
BLOOMINGTON, MN 55425
CONTACT: JON COFFLEY
PHONE: (652) 944-1659 x107

UTILITY INFORMATION

POWER:
EXISTING SERVICES TO REMAIN

TELEPHONE:
EXISTING SERVICES TO REMAIN



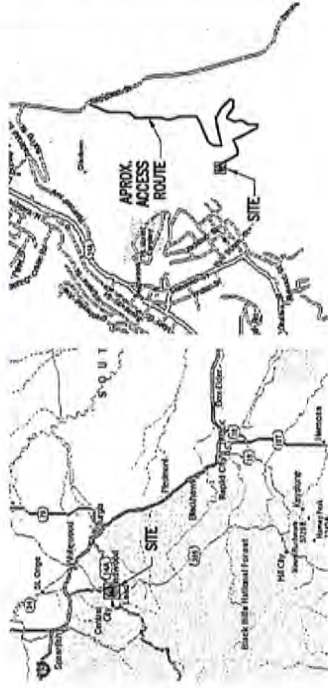
at&t
MOBILITY

CONSTRUCTION DRAWINGS
PROJECT: NSB
at&t SITE ID: MPLSSDU4853
at&t FA #: 11596393
DEADWOOD RELO
DEADWOOD, SOUTH DAKOTA

NEW 87' MONOPOLE TOWER INSTALLATION
(TOWER HEIGHT IS TO TOP OF STEEL STRUCTURE WITHOUT ATTACHMENTS)

PTN [NSB]: 320468005 - PTN [MDS]: 3520374414

AREA MAPS



VICINITY MAP

LOCATION MAP

DRIVING DIRECTIONS TO SITE

DEPART 4300 MARKET POINTE DR, MINNEAPOLIS, MN 55425 ON JENSEN AVE S (NORTH) TURN RIGHT (EAST) ONTO MANASSA DR TAKE LOCAL ROAD(S) (RIGHT) ONTO SR-17 (FRANCE AVE S) TAKE RAMP (RIGHT) ONTO I-494 (SR-5) AT EXIT 102, TAKE RAMP (RIGHT) ONTO US-169 KEEP STRAIGHT ONTO SR-50 ROAD NAME CHANGES TO SR-15 (SR-60) ROAD NAME CHANGES TO SR-50 ROAD NAME CHANGES TO SR-30 (SR-60) ROAD NAME CHANGES TO SR-15 (SR-60) ROAD NAME CHANGES TO SR-1 (SR-60) ROAD NAME CHANGES TO SR-50 KEEP STRAIGHT ONTO US-71 (SR-60) KEEP STRAIGHT ONTO SR-50 TURN RIGHT ONTO RAMP SR-50 ON I-90 (US-14) AT EXIT 30, TURN RIGHT ONTO RAMP TURN LEFT (WEST) ONTO I-90 BUS (US-14) ROAD NAME CHANGES TO US-14 (JAZELLE ST) TURN LEFT (EAST) ONTO TURN RIGHT ON LOCAL ROAD FOLLOW UP MOUNTAIN TO BRIDGE USE AHEAD DEADWOOD



Velocitel Inc.
1701 AMERICAN BLVD EAST, STE 16
BLOOMINGTON, MN 55425
Office (652) 944-1659
Fax (652) 944-1508

FIG. /	TITLE	REV. /	DATE
COVER	TITLE SHEET	1	08.20.14
C-1	SITE PLAN	1	08.20.14
C-2.0	SHIELDER PLAN AND COMPOUND DETAILS	1	08.20.14
C-2.1	FENCE DETAILS	1	08.20.14
C-2.2	ICE BRIDGE DETAILS	1	08.20.14
C-3	LEGEND & GENERAL NOTES	1	08.20.14
F-1	TOWER ELEVATION AND ANTENNA PLAN	1	08.20.14
E-1	GROUNDING SITE PLAN	1	08.20.14
E-2	COAX CABLE COING AND REARER PROOFING	1	08.20.14
E-3.1	GROUNDING DETAILS	1	08.20.14
E-3.2	GROUNDING DETAILS	1	08.20.14

CONTRACTOR SHALL REFERENCE AT&T STANDARD DETAILS AND SPECIFICATIONS FOR WIRELESS TELECOMMUNICATION TOWERS

DO NOT SCALE DRAWINGS

- THESE SITE PLANS ADHERE TO ALL OF THE REQUIREMENTS CALLED OUT IN THE JURISDICTION PLANNING AND ZONING FOR ANTENNAS AND SUPPORT STRUCTURES WHERE SITE IS LOCATED
- SUBCONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS/CONDITIONS ON SITE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

TO OBTAIN LOCATION OF ANTENNAE AND/OR SUPPORT STRUCTURES, YOU MUST VISIT THE SITE AND OBTAIN A COPY OF THE SITE PLAN FROM THE OWNER.



SEAL: (652) 944-1659 (652) 944-1508

4300 MARKET POINTE DR
BLOOMINGTON, MN 55425
SITE ID: MPLSSDU4853

Complete Wireless Solutions
1701 AMERICAN BLVD EAST, STE 16
BLOOMINGTON, MN 55425
Office (652) 944-1659
Fax (652) 944-1508
FILE NO. 2004AT1596393

DEADWOOD RELO
20861 SPRUCE GULCH RD
DEADWOOD, SD 57732
11596393

USE STANDARD DETAILS AND SPECIFICATIONS FOR WIRELESS TELECOMMUNICATION TOWERS
ALL SIZE OF DIMENSIONS OVER 100' SHALL BE INDICATED BY DIMENSION LINES & DIMENSIONAL NOTES TO THE DIMENSIONED PARTS TO BE DIMENSIONED IN SITUATION.

NSB
CONSTRUCTION
08.20.14
1

REV.	DATE	DESCRIPTION	BY
A	01.23.14	CONSTRUCTION REVIEW	DLK
B	07.23.14	CONSTRUCTION REVIEW	DLK
C	07.23.14	CONSTRUCTION REVIEW	DLK
D	08.11.14	FOR CONSTRUCTION	DLK
E	08.20.14	ADDED CONSTRUCTION	DLK

DRAWN BY: D. THOMPSON
CHECKED BY: D. THOMPSON
DATE: 08.20.14

TITLE PAGE

COVER



4300 MARKET POINTE DR
BLOOMINGTON, MN 55435

SITE ID: **SP53504033**

1751 AMERICAN BLVD EAST, STE 148
BLOOMINGTON, MN 55425
TEL (612) 444-1208
FAX (612) 444-1209

FILE NO. **200411592334**

DEADWOOD RELO
20041 SPRUCE GULCH RD
DEARWOOD, SD 57732

115594.933

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PREPARED BY AN INDIVIDUAL OR FIRM WHO IS NOT A LICENSED PROFESSIONAL ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED FOR ANY PROJECT THAT REQUIRES A LICENSED PROFESSIONAL ENGINEER'S SEAL.

PROJECT:

NSB

CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	08.20.14	1

DESIGNED BY: **SKM**

CHECKED BY: **SKM**

DATE: **08.20.14**

COMPANY: **VELOCITECH**

ADDRESS: **1751 AMERICAN BLVD EAST, STE 148, BLOOMINGTON, MN 55425**

PHONE: **(612) 444-1208**

PROJECT NAME: **DEADWOOD RELO**

PROJECT NUMBER: **200411592334**

DATE: **08.20.14**

TIME: **11:55:41 AM**

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

REVISIONS:

NO.	DATE	DESCRIPTION
1	08.20.14	1

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NO.	DATE	DESCRIPTION
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REVISIONS:

NO.	DATE	DESCRIPTION
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REVISIONS:

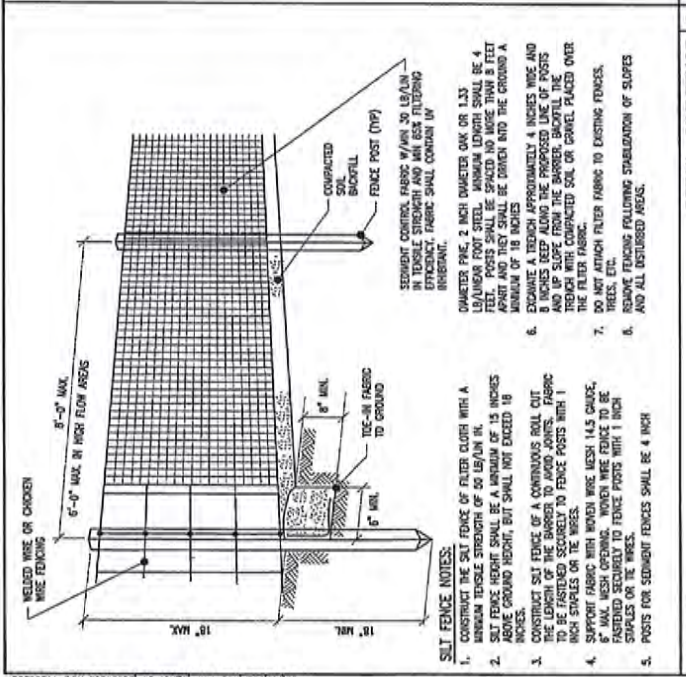
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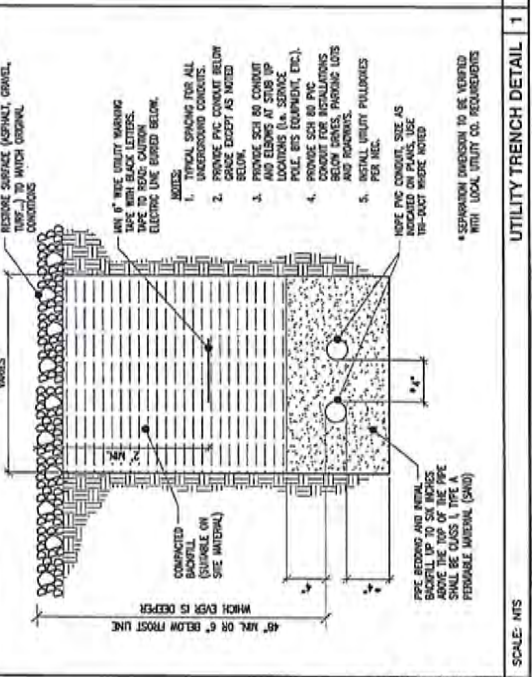
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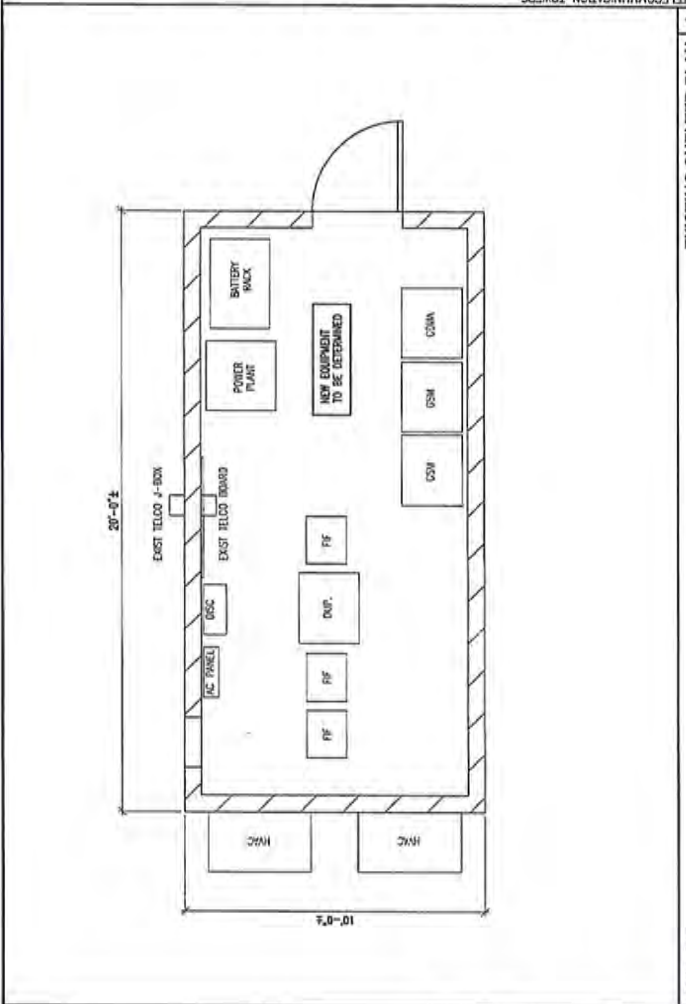
NO.	DATE
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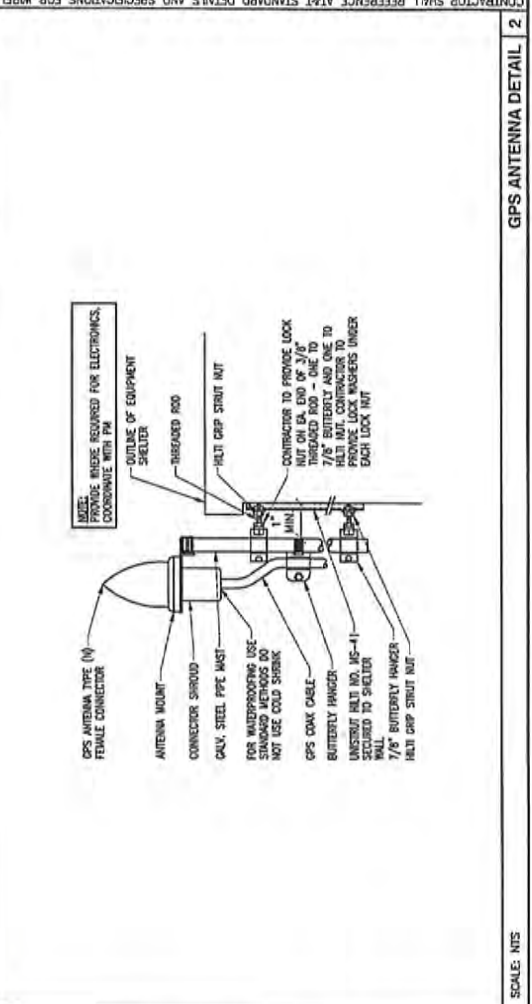
DETAIL - SILT FENCE 3 SCALE: NTS



UTILITY TRENCH DETAIL 1 SCALE: NTS



EXISTING SHELTER PLAN 4 SCALE: NTS



GPS ANTENNA DETAIL 2 SCALE: NTS

4000 MARKET POINTE DR.
BLOOMINGTON, MN 55466
SITE ID: 11562303-053

complete wireless solutions
1750 AMERICAN BLVD. SUITE 100
BLOOMINGTON, MN 55425
Office (652) 844-1858
Fax (652) 844-1808
FILE NO. 2014M11562303-053

DEADWOOD RELO
20691 SPRUCE GULCH RD
DEADWOOD, SD 57732
11562303

THE INFORMATION CONTAINED IN THIS SET OF DRAWINGS IS THE PROPERTY OF THE ENGINEER. ANY USE OR REPRODUCTION OF THIS INFORMATION WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER IS STRICTLY PROHIBITED.

PREPARED BY: NSB
DESIGNED BY: CONSTRUCTION
CHECKED BY: DATE: 08.20.14
REV. NO. 1

REV.	DATE	DESCRIPTION	BY
A	01.23.14	CONSTRUCTION REVIEW	NSB
B	07.23.14	CONSTRUCTION REVIEW	NSB
C	07.23.14	CLIENT REVIEW	NSB
D	08.11.14	FOR CONSTRUCTION	NSB
E	08.20.14	ADDRESS CORRECTIONS	NSB

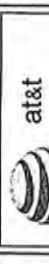
DESIGNED BY: D. CHAM
CHECKED BY: T. WEA
REGISTERED PROFESSIONAL ENGINEER
7314
WILLIAM PANEK
FLUOR DANIEL
REGISTERED PROFESSIONAL ENGINEER
STATE OF MINNESOTA
1562303-053-1

IT IS A VIOLATION OF LAW FOR ANY PERSON WHOSE LICENSE OR CERTIFICATE OF REGISTRATION IS REVOKED OR SUSPENDED TO ENGAGE IN ANY PROFESSIONAL ENGINEERING OR ARCHITECTURAL SERVICES EXCEPT AS AUTHORIZED BY THE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS OF THE STATE OF MINNESOTA. ANY VIOLATION OF THIS ACT IS A CRIME UNDER MINNESOTA LAW.

DATE: 08.20.14

SHELTER PLAN AND COMPOUND DETAILS

PLAN NUMBER: C-2.0



4205 MARKET PONTE DR
BLOOMINGTON, MN 55408
SITE ID: WFS5504663



1701 AMERICAN BLVD EAST, STE 16
BLOOMINGTON, MN 55405
TEL: 612.281.1400
FAX: 612.281.1401

DEADWOOD RELO
20481 SPRUCE GULCH RD
DEADWOOD, SD 57732
11562933

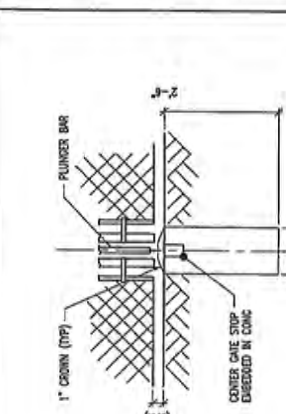
NSB
CONSTRUCTION
08.20.14
REV. 1

REVISIONS
REV. DATE DESCRIPTION BY
1 08.20.14 CONSTRUCTION REVIEW OLE
2 07.22.14 CONSTRUCTION REVIEW OLE
3 06.11.14 FOR CONSTRUCTION OLE
4 06.25.14 AMEND CORRECTION OLE

DESIGNED BY: S. KIM
CHECKED BY: S. KIM
DATE: 8/14/14

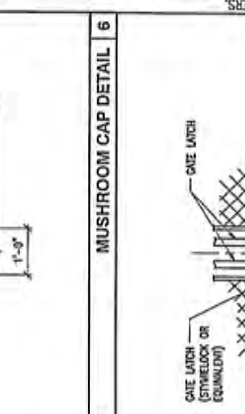
REGISTERED PROFESSIONAL ENGINEER
REG. NO. 7314
WILLIAM PANEEK
DAKOTA
REGISTERED PROFESSIONAL ENGINEER
I am a holder of a valid license under the laws of the State of Minnesota. I am duly licensed to practice as a Professional Engineer in the State of Minnesota. I am duly licensed to practice as a Professional Engineer in the State of Minnesota. I am duly licensed to practice as a Professional Engineer in the State of Minnesota.

FENCE DETAILS
SHEET NUMBER: C-2.1

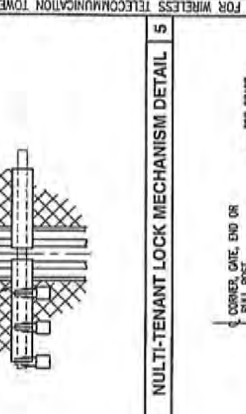


TYPICAL WOVEN WIRE FENCING NOTES:
(INSTALL FENCING PER ASTM F-567, SWING GATES PER ASTM F-900)

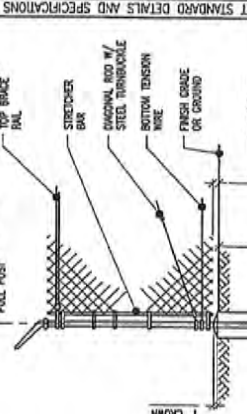
- GATE POST: CORNER, TENSION OR PULL POST 2 1/2" DIA. SCHEDULE 40 FOR GATE POST WORKS UP THRU 6 FEET FOR DOUBLE SWINGGATE PER ASTM-F-1083.
- LINE POST: 2" DIA. SCHEDULE 40 PIPE PER ASTM-F-1083.
- TOP RAIL & BRACE RAIL: 1 1/2" DIA. SCHEDULE 40 PIPE PER ASTM-F-1083.
- FABRIC: 12 GA. COIL WIRE SIZE 2" MESH, CONFORMING TO ASTM-A325.
- TIE WIRE: MIN. 11 GA. GALVANIZED STEEL AT POSTS AND RAILS, A SINGLE WRAP OF FABRIC, TIE AND TENSION WIRE BY HOD BINS SPACE AT MAX 24" INTERVALS.
- TENSION WIRE: 7 GA. GALVANIZED STEEL.
- HEDGE: 7" VERTICAL.
- BASED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH W/ FABRIC 14 GA. 4 FT. BARS SPACED ON APPROXIMATELY 5' CORNERS.



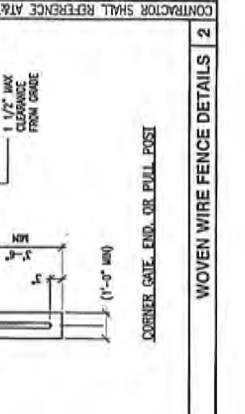
WOVEN WIRE MAN GATE 3
SCALE: NTS



WOVEN WIRE FENCE DETAIL 4
SCALE: NTS



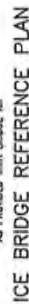
MULTI-TENANT LOCK MECHANISM DETAIL 5
SCALE: NTS



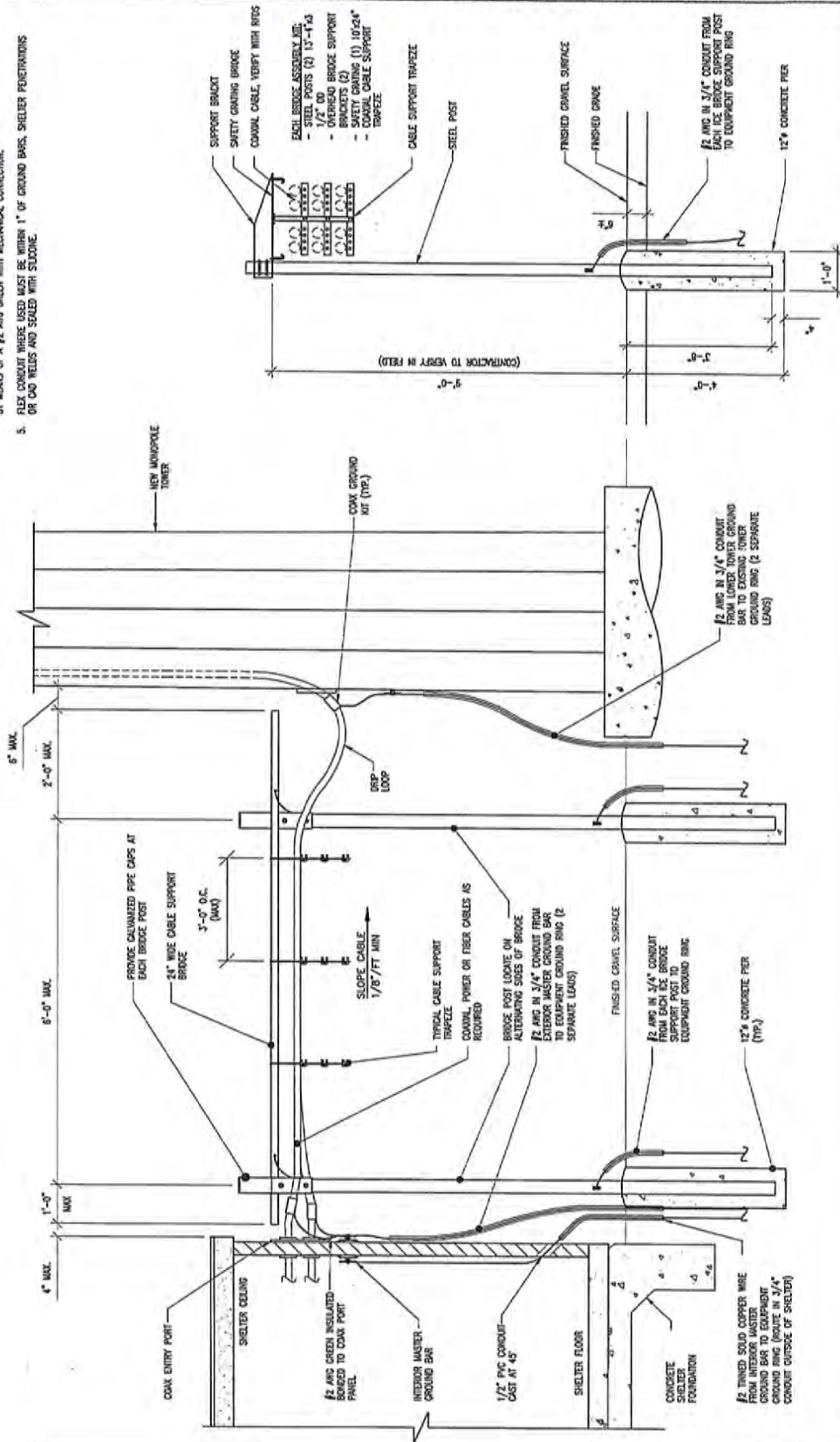
MUSHROOM CAP DETAIL 6
SCALE: NTS



WOVEN WIRE FENCE DETAILS 2
SCALE: NTS



- ICE BRIDGE NOTES:
1. ALL STEEL ICE BRIDGE COMPONENTS SHALL BE GALVANIZED.
 2. CONTRACTOR SHALL FIELD DETERMINE NECESSARY ICE BRIDGE HEIGHT AND NOTIFY CONSTRUCTION MANAGER IF LONGER ICE BRIDGE SUPPORT PILES ARE REQUIRED.
 3. SEE SHEET PLAN FOR ACTUAL ICE BRIDGE ROUTING, ADJUST SUPPORT SPACING AS NECESSARY FOR INSTALLATION, MAX SPACING TO BE 6'-0".
 4. CONTRACTOR SHALL PROVIDE GRIP STRUT STATION TO ADJACENT GRIP STRUT SECTIONS BY MEANS OF A $\frac{1}{2}$ " ARD GREEN WIRE MECHANICAL CONNECTION.
 5. PILE CAPS WHERE USED MUST BE WITHIN 1" OF GROUND BARS, SHELTER FOOTINGS OR ABUTMENTS AND BE REINFORCED WITH 4" DIA. BARS WITH 12" LONG.



ICE BRIDGE DETAILS	3
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C-2.2

ICE BRIDGE DETAILS

4. 结论

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT. UNLESS EMPLOYMENT AGREED TO BY THE EMPLOYER IN WRITING, THE ENGINEER DISCLAIMS ALL LIABILITY ASSOCIATED WITH THE REGIST. NOTIFICATION OR

AREA 1	100 000000
AREA 2	100 000000
AREA 3	100 000000

D	08.11.14	FOR CONSTRUCTION	DLC
I	08.20.14	ADDRESS CORRECTION	DLC

DATE	TYPE	DESCRIPTION	STATUS
A	01/23/14	CONSTRUCTION REVIEW	DUE
B	07/23/14	CONSTRUCTION REVIEW	DUE
C	07/23/14	CLIENT REVIEW	DUE

08.20.14	1
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REVISION DATE:	REV:
CONSTRUCTION	

NSB

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velocity
complete wireless solutions
A Division of Intel

SITE ID: WPL550U4853

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1. ALL CONSTRUCTION, LABOR AND MATERIAL SHALL COMPLY WITH ALL LOCAL AND STATE BUILDING CODES, ORDINANCES AND TO THE RULES AND REGULATIONS OF ALL AGENCIES INVOLVING ASSOCIATION.
2. THE CONTRACTOR MUST VISIT THE SITE AND BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK, PURCHASE, FABRICATION AND ERECTION OF ANY MATERIAL.
3. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, APPROVALS, INSPECTIONS AND TESTS REQUIRED BY ALL AGENCIES INVOLVING ASSOCIATION.

1. ALL CONSTRUCTION, LABOR AND MATERIAL SHALL COMPLY WITH ALL LOCAL AND STATE BUILDING CODES ORDINANCES AND TO THE RULES AND REGULATIONS OF ALL AGENCIES HAVING AUTHORITY.
2. THE CONTRACTOR MUST BEAT THE SITE AND BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH ANY WORK, PURCHASE, FABRICATION AND ERECTION OF ANY MATERIAL.
3. THE CONTRACTOR SHALL ADVANCE AND PAY FOR ALL PERMITS, APPROVALS, INSPECTIONS AND TESTS REQUIRED BY ALL AGENCIES HAVING AUTHORITY.
4. THE CONTRACTOR SHALL PROVIDE ALL DETAILS OF LABOR AND MATERIALS, WHETHER OR NOT SPECIFICALLY INDICATED, IF REQUIRED TO COMPLETE THE INSTALLATION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE BIDDING, OBTAINING OF ALL WORK DRAWINGS, CONSTRUCTION TO AVOID DAMAGE, COLLAPSE, DISPLACEMENT, MISALIGNMENT, PROVIDING PROTECTIVE CHANNELS AND REINFORCEMENTS. EROSION PROTECTION SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES, STANDARDS AND BEST PRACTICES. ROOF SURFACES SHALL BE RESTORED TO COMPLETE WATER TIGHTNESS WITH THE APPROVED MATERIAL AND AS PRE-APPROVED BY THE OWNER IN WRITING.
6. ALL MATERIALS SHALL BE INSTALLED AS PER THE MANUFACTURER'S SPECIFICATIONS.
7. DO NOT SCALE DOWNHILLS.
8. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR THE MEANS AND METHODS OF CONSTRUCTING THE WORK SHOWN ON THESE PLANS. ALL WORK PERFORMED SHALL BE DONE IN A GOOD WORKMANSHIP MANNER TO THE SATISFACTION OF THE OWNER. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONARY EFFORTS TO PROTECT THE NEAR BY PROPERTY DURING THIS INSTALLATION AND APPLICATION SUCH AS:
 - THE TOWN'S EGRESS TO AND FROM THE BUILDING AND/OR ON THE SITE.
 - THE BUILDING'S FIRE SAFETY ON SHALL NOT CREATE ANY FIRE HAZARDS.
 - THE STRUCTURAL INTEGRITY AND SAFETY OF THE BUILDING.
 - THE ROADWAY NOT BE OBSTRUCTED DURING THE NORMAL HOURS OF 7 AM TO 5 PM.
 - THE ADJACENT PROPERTY NOT BE DAMAGED BY THE WORK.
9. THE BUILDING'S SECURITY SHALL BE MAINTAINED IN ORDER TO PREVENT ANY UNAUTHORIZED PERSONS FROM ENTERING THE PREMISES.
 - THE BUILDING'S UTILITIES (ELECTRICITY, GAS, WATER AND OTHER UTILITIES) SHALL NOT BE INTERRUPTED DURING THIS APPLICATION & INSTALLATION WITHOUT PRIOR APPROVAL FROM OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
 - ALL PREEXISTING SHALL BE DONE WITHIN 48 HRS. AND 155 HOURS STOP AND GO.
 - NON-SHRIKING PUTTY FILL BARBERS SOLARIS. HANTANI THE FINE RATING OF ALL FORTRETTED SURFACES.
10. THE CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE, CONSTRUCTION MATERIAL, AND RUBBER. UPON COMPLETION, ALL DEBRIS SHALL BE REMOVED AND THE PREMISES LEFT IN A "BROOM CLEAN" CONDITION. ALL RUBBER SHALL BE DISPOSED OF IN A LEGAL MANNER.
11. THE CONTRACTOR SHALL COORDINATE ALL SPECIFIC CONSIDERATIONS OF THE CONSTRUCTION FOR ANY EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, ELECTRICAL, MECHANICAL, AND/OR ELECTRICAL SERVICES. MATERIAL DELIVERIES AND/OR STORAGE WITH THE BUILDING OWNER OR MANAGEMENT PRIOR TO THE START OF THE WORK.
12. THE CONTRACTOR SHALL PATCH AND REPAIR EXISTING CONDITIONS WHICHE DISCLOSED BY NEW WORK OR AS REQUIRED BY THE PLANS. ALL EXISTING AREAS OF THE BUILDING DAMAGED BY THE CONTRACTOR SHALL BE RESTORED TO ORIGINAL CONDITION AT ITS ORIGINAL COST TO THE OWNER.
13. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICIAN AND CONFORM TO ALL BUILDING CODE AND LOCAL UTILITY'S REQUIREMENTS.

A	CONTROL POINT	EXISTING LIGHT POLE	EXISTING UTILITY POLE	EXISTING WATER VALVE	EXISTING SANITARY SINKER MANHOLE	EXISTING/NEW TELEPHONE POLE/STOL	EXISTING/NEW POWER TRANSFORMER	EXISTING SIGNAL POST	EXISTING WATER INTRANT	EXISTING TREE CANOPY	EXISTING TREE DISCOUNDS	
1	EXISTING LIGHT POLE	---	---	---	---	---	---	---	---	---	---	
2	EXISTING UTILITY POLE	---	---	---	---	---	---	---	---	---	---	
3	EXISTING WATER VALVE	---	---	---	---	---	---	---	---	---	---	
4	EXISTING SANITARY SINKER MANHOLE	---	---	---	---	---	---	---	---	---	---	
5	EXISTING/NEW TELEPHONE POLE/STOL	---	---	---	---	---	---	---	---	---	---	
6	EXISTING/NEW POWER TRANSFORMER	---	---	---	---	---	---	---	---	---	---	
7	EXISTING SIGNAL POST	---	---	---	---	---	---	---	---	---	---	
8	EXISTING WATER INTRANT	---	---	---	---	---	---	---	---	---	---	
9	EXISTING TREE CANOPY	---	---	---	---	---	---	---	---	---	---	
10	EXISTING TREE DISCOUNDS	---	---	---	---	---	---	---	---	---	---	
		EXISTING PROPERTY LINE	EXISTING RIGHT-OF-WAY LINE	NEW LEASE PARCEL LINE	EXISTING CONTOURS	EXISTING CONTOURS	NEW EASEMENT	EXISTING LOT LINE	EXISTING OF WOODS	EXISTING FENCE - BARBED WIRE	EXISTING FENCE - CHAIN LINK	EXISTING FENCE - WOOD

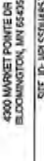
LEGEND AND GENERAL NOTES	2
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AGL	ABOVE GROUND LEVEL
AUF	ABOVE FINISHED FLOOR
AUC	ABOVE FINISHED GRADE
AWG	AMERICAN WIRE GAUGE
&	AND
CONC	CONCRETE
C	CONDUIT

14. THESE DOCUMENTS ARE IN COMPLIANCE & ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THE FOLLOWING CODES & STANDARDS, LATEST EDITIONS.
 - INTERNATIONAL BUILDING CODE
 - INTERNATIONAL PLUMBING CODE
 - INTERNATIONAL MECHANICAL CODE
 - NFPA, SECTION 13 & 72
 - ENF-71-222-F STANDARDS "STRUCTURAL STANDARDS FOR STEEL LATTICE TOWERS IN CONNECTION WITH STRUCTURES" DESIGN WIND SPEED OF 80 MILES/HOURS (74 KNOTS) / HOUR IN COMPLIANCE WITH U.S. INDEXES OF RAINAL (X).
15. ALL NEW STRUCTURAL STEEL SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH AISC CODE AND AISC SPECIFICATIONS, LATEST EDITION. ALL NEW STEEL SHALL:
 - CONFORM TO, LATEST A-36
 - ALL STEEL PIPES SHALL CONFORM TO ASTM A-501, OR A-53, GRADE B.
 - CONNECTIONS SHALL BE MADE USING SPECTED WELDS AND WELDING.
 - SPECTED HORN STRENGTH BOLTS SHALL BE ASTM A308. THREADS ARE EXCLUDED FROM THE SHEAR PLANE
 - ALL FIELD WELDING SHALL BE DONE BY WELDERS QUALIFIED AS REQUIRED IN THE AISC WELDING SOCIETY'S STANDARD QUALIFICATION PROCEDURE" TO FULFILL THE NEW YORK
 - BE NOT DEFECTED SUBMITTED AFTER FABRICATION (ONLY EXPOSED TO INSURANCE APPLICATIONS) PER ASTM A-133. ALL DAMAGED SURFACES, WELDED AREAS AND CORROSED OR GALVANIZED MEMBERS OR PARTS (NEW OR OLD) SHALL BE PATCHED WITH TWO (2) COATS OF ZINC COAT GALVANIZING COMPOUND MANUFACTURED BY ARC CHEMICAL PRODUCTS.
 - ALL PIPE SECS INDICATED HEREIN ARE NOMINAL DIAMETER (INSIDE DIAMETER).
16. ALL NEW HANGING APPLICATIONS MOUNTED TO EXTERIOR WALLS SHALL BE SIZED AT THE TOP AND SIZES WITH NEW CORNER CLANG SALICONE SOLANT OR APPROVED EQUAL. THE SALICONE APPLICATIONS SHALL BE TOLEDED TO MAINTAIN A PLANNED APPEARANCE.
17. WHERE INDICATED ON THE PLANS THE CONDUCTOR SHALL PAINT ALL NEW ANTENNAS, SHROUD AND RELATED MOUNTING HARDWARE TO MATCH THE EXISTING ANTI-CORROSION SURFACES. ALL PAINT SHALL BE SHERWIN WILLIAMS OR APPROVED EQUAL. THE CONTRACTOR SHALL NOT USE A METAL BASED PAINT ON THE ANTENNAS. ANTENNAS SHALL HAVE ONE PAINTED COAT OF POLYURE 2.8 PLUS FLUO FLUORIS PRIMER IN COMPLIANCE WITH THE SHERWIN WILLIAMS COMPANY'S TECHNICAL DATA SHEET. THE CONTRACTOR SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS. ALL SURFACE COATINGS SHALL BE DONE BEFORE THE ANTENNAS ARE MOUNTED. THE NEW SURFACES, ALL GALVANIZED SURFACES SHALL HAVE ONE COAT OF PERSHAW ENDURING ACENT, WHILE STEEL WILL APPLY ONE COAT OF SHERWIN WILLIAMS FLAT LATEX PAINT, LET DRY THEN A SECOND COAT OF FLAT LATEX PAINT.
18. THE CONTRACTOR SHALL PAINT A CORROSION & KIDS SAFETY LINE, TRACED, YELLOW OR APPROVED EQUAL, ON THE WALKING SURFACES ADJACENT TO THE NEW CABINET TO DENOTE THE CLEARANCE LIMITS OF THE CABINET OR SHELTER.
19. ALL EQUIPMENT SHALL BE INSTALLED LEVEL AND PLUMB.
20. MATERIALS AND CONDITIONS NOT SPECIFICALLY CORRECTED, DAMAGED OR NON-CORRECTING SHALL BE REPORTED TO CONSTRUCTION MANAGER, ENGINEER AND OWNER PRIOR TO ANY CORRECTIVE ACTION. ALL ACTIONS REQUIRE APPROVAL FROM THE OWNER.
21. FUTURE CONFORMANCE MAINTENANCE - NOT WITHSTANDING ANYTHING TO THE CONTRARY IN THE AGREEMENT, LESSEES SHALL ALSO HAVE THE RIGHT, AT ITS SALE OF EQUIPMENT, TO DIRECT AND MAINTAIN ON THE PREMISES, ANY EQUIPMENT OR SYSTEM THAT, IN THE FUTURE, MAY BE MAINTAINED BY ANY FEDERAL, STATE, COUNTY, OR MUNICIPAL AGENCY/DEPARTMENT, INCLUDING A LOCATION-BASED SYSTEM, WHICH MAY BE USED FOR ANY PURPOSE WITHOUT LIMITATION, ANTENNAS, CABLE, COAXIAL, BASE UNITS AND OTHER LOCATION BASED SYSTEM (E-911 EQUIPMENT) TO BE INSTALLED - NOT DEFECTED

[illegible]

C-3



velocitel
complete wireless solutions

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CONSTRUCTION

ISSUE DATE:	08.20.14	REV.	1
REVISIONS			

11.14	FOR CONSTRUCTION
11.14	ADJUSTS CONSTRUCTION

1. 011	0. 011
2. 011	0. 011
3. 011	0. 011



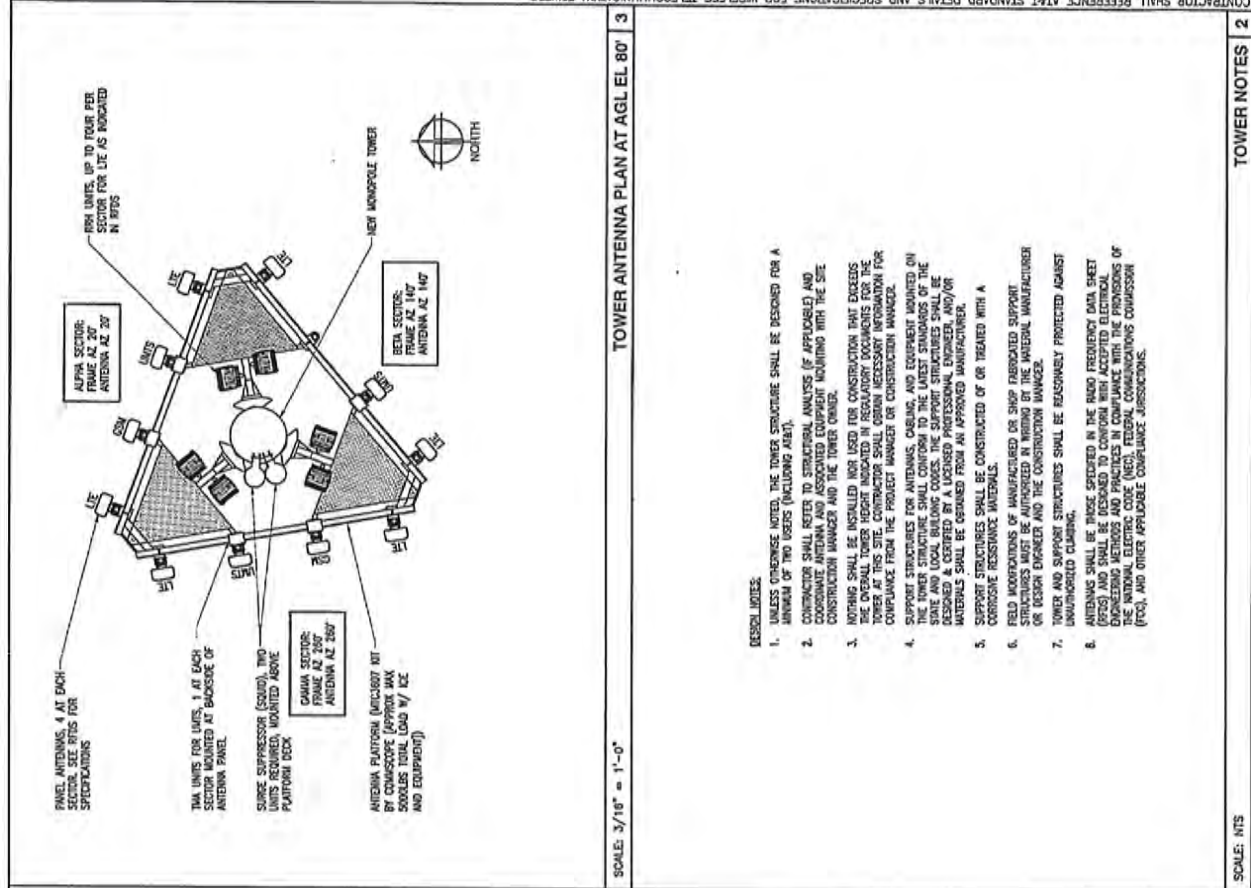
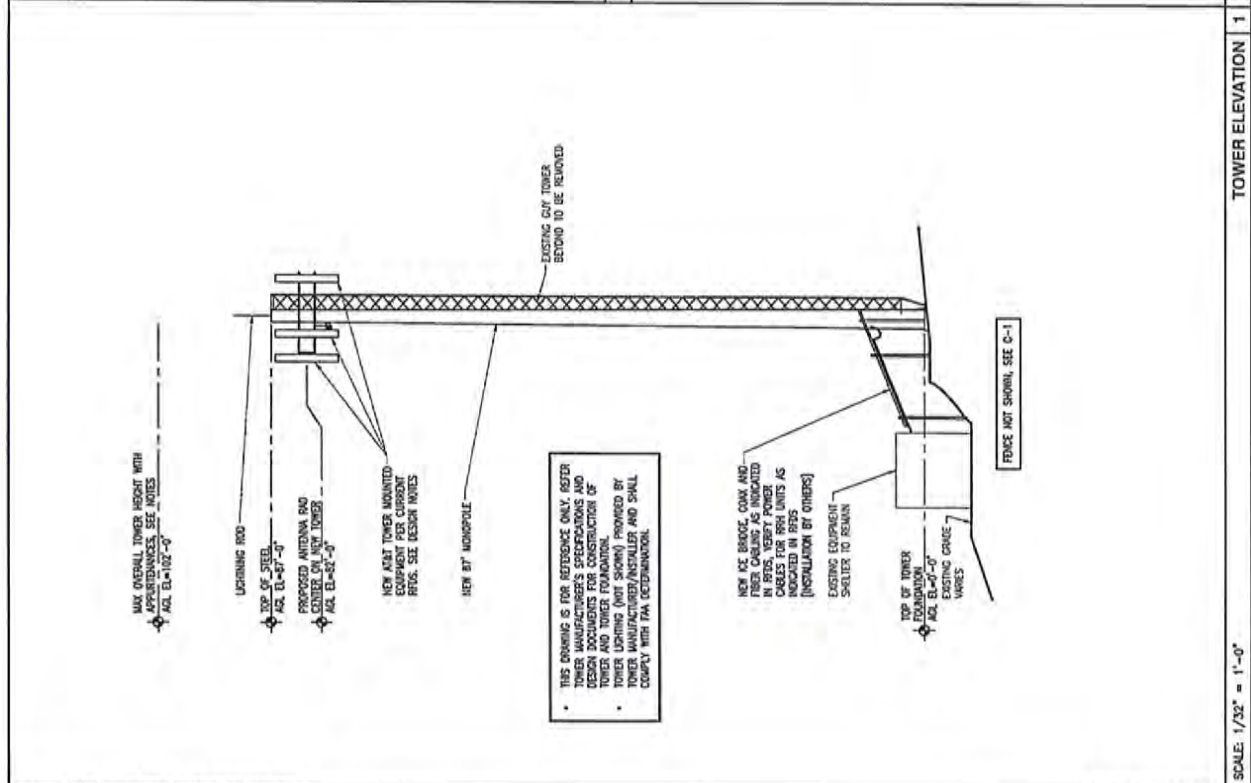
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given time

**LEGEND AND
GENERAL NOTES**

WEST VIRGINIA

C-3



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11596393

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REVISIONS	
NO.	DATE
1	08.20.14

PROJECT: NSB

DESIGN: CONSTRUCTION

CONTRACTOR: NSB

DATE: 08.20.14

NO.	DATE	DESCRIPTION
1	08.20.14	CONSTRUCTION
2	08.20.14	CONSTRUCTION
3	08.20.14	CONSTRUCTION
4	08.20.14	CONSTRUCTION
5	08.20.14	CONSTRUCTION
6	08.20.14	CONSTRUCTION
7	08.20.14	CONSTRUCTION
8	08.20.14	CONSTRUCTION
9	08.20.14	CONSTRUCTION
10	08.20.14	CONSTRUCTION

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: 08.20.14

REGISTERED PROFESSIONAL ENGINEER
REG. NO. 7314
WILLIAM PANKE
SOUTH DAKOTA

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TOWER ELEVATION AND ANTENNA PLAN

SHEET NUMBER: T-1

TOWER ANTENNA PLAN AT AGL EL 80' 3"

TOWER ELEVATION 1 SCALE: 1/32" = 1'-0"

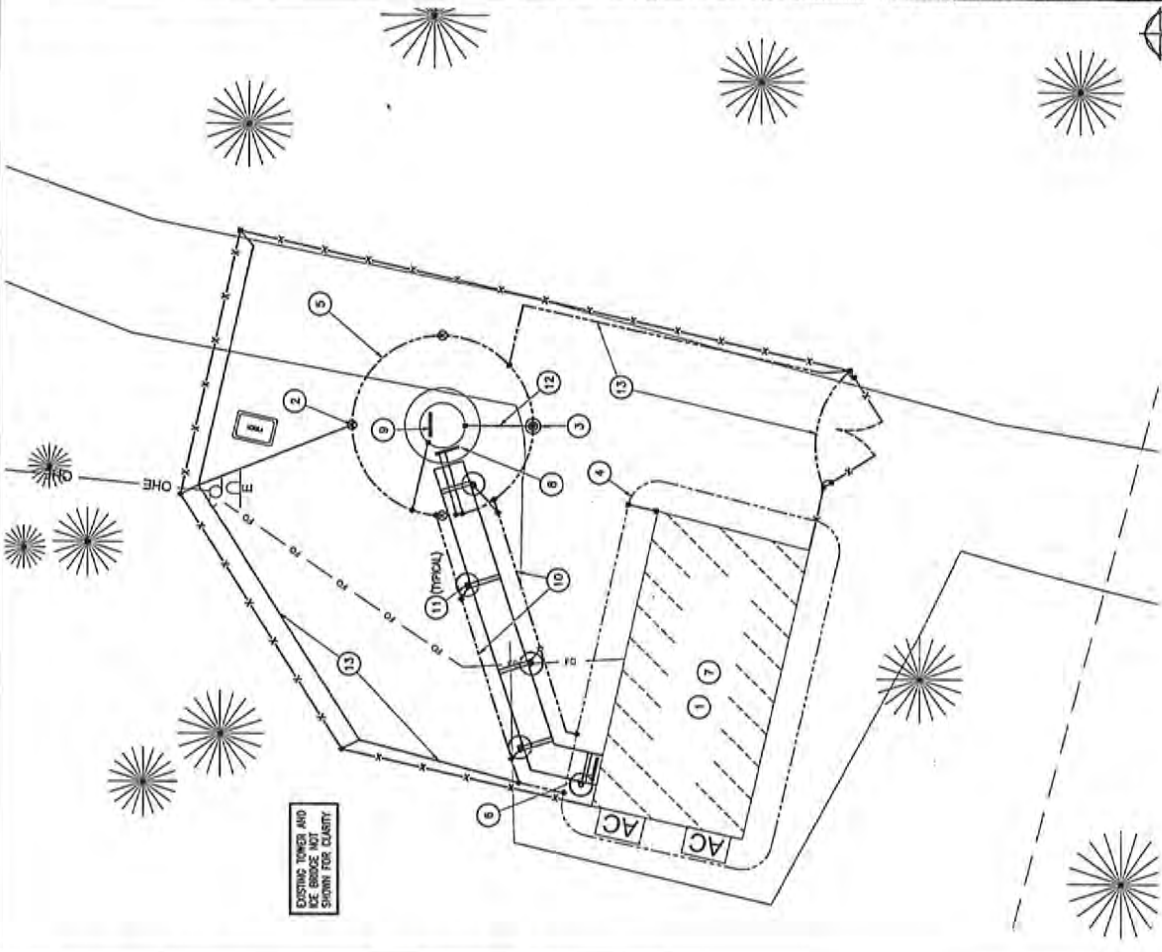
DESIGN NOTES:

1. UNLESS OTHERWISE NOTED, THE TOWER STRUCTURE SHALL BE DESIGNED FOR A WIND SPEED OF 110 MPH (INCLUDING AEST).
2. CONTRACTOR SHALL REFER TO STRUCTURAL ANALYSIS (IF APPLICABLE) AND COORDINATE ANTENNA AND ASSOCIATED EQUIPMENT MOUNTING WITH THE SITE ENGINEER AND THE TOWER OWNER.
3. NOTHING SHALL BE INSTALLED NOR USED FOR CONSTRUCTION THAT EXCEEDS THE OVERALL TOWER HEIGHT INDICATED IN REGULATORY DOCUMENTS FOR THE TOWER AT THIS SITE. CONTRACTOR SHALL OBTAIN NECESSARY INFORMATION FOR COMPLIANCE FROM THE PROJECT MANAGER OR CONSTRUCTION MANAGER.
4. SUPPORT STRUCTURES FOR ANTENNAS, CABLES, AND EQUIPMENT MOUNTED ON THE TOWER STRUCTURE SHALL CONFORM TO THE LATEST STANDARDS OF THE TOWER MANUFACTURER. ALL SUPPORT STRUCTURES SHALL BE DESIGNED AND CONSTRUCTED BY A LICENSED PROFESSIONAL ENGINEER AND/OR MATERIALS SHALL BE OBTAINED FROM AN APPROVED MANUFACTURER.
5. SUPPORT STRUCTURES SHALL BE CONSTRUCTED OF OR TREATED WITH A CORROSION RESISTANT MATERIAL.
6. FIELD MODIFICATIONS OF MANUFACTURED OR SHOP FABRICATED SUPPORT STRUCTURES MUST BE AUTHORIZED IN WRITING BY THE MATERIAL MANUFACTURER OR DESIGN ENGINEER AND THE CONSTRUCTION MANAGER.
7. TOWER AND SUPPORT STRUCTURES SHALL BE REASONABLY PROTECTED AGAINST UNAUTHORIZED CLIMBING.
8. ANTENNAS SHALL BE PHASE SPECIFIED IN THE RADIO FREQUENCY DATA SHEET (RFDS) AND SHALL BE DESIGNED TO CONFORM WITH ACCEPTED ELECTRICAL ENGINEERING METHODS AND PRACTICES IN COMPLIANCE WITH THE PROVISIONS OF THE NATIONAL ELECTRICAL CODE (NEC), FEDERAL COMMUNICATIONS COMMISSION (FCC), AND OTHER APPLICABLE COMPLIANCE JURISDICTIONS.

- GROUNDING GENERAL NOTES:**
- ALL GROUNDING CONNECTIONS SHALL BE MADE WITH EXISTING WELDS, UNLESS NOTED OTHERWISE.
 - ALL LUG CONNECTIONS SHALL BE 2-HOLE LUGS.
 - THE EQUIPMENT GROUND RING SHALL BE COMPOSED OF #2 AWG BARE SOLID TINNED COPPER, UNLESS NOTED OTHERWISE, BARED 4" BELOW FINISHED GRADE (OR 6" BELOW FIRST LUG, WHICHEVER IS DEEPER). GROUND RING SHALL BE INSTALLED PER THE CONSTRUCTION MANAGER PRIOR TO BACKFILL.
 - CONDUCTORS SHALL SET 6" MIN. LUGS AND COPPER CLIP GROUND RODS WITH SPACING BETWEEN RODS SET AT A MINIMUM OF 10' AS SHOWN (NON-UNIFORM). PROVIDE EXTERIOR WELD TO BOND GROUND ROD TO BURIED GROUND RING.
 - ALL BARS ON THE GROUND CONDUCTOR TO BE MADE WITH A MINIMUM 12" BARS.
 - CONTRACTOR SHALL PROVIDE #2 AWG GROUND LEADS WITH ONE END EXTERIORLY WELDED TO THE GROUND RING AND THE OTHER END WELDED TO THE EQUIPMENT GROUND BAR. PROVIDE #2 AWG BARE SOLID TINNED COPPER WELDS TO THE GROUND BAR, AND THE CREATOR RECEIPT FOR THE SHIELDER MANUFACTURER'S RECOMMENDATIONS AND IN ACCORDANCE WITH ALL AT&T ELECTRICAL STANDARD SPECIFICATIONS.
 - CONTRACTOR SHALL GROUND EACH CWP SPURT SECTION TO THE EQUIPMENT GROUND BAR WITH #2 AWG BARE SOLID TINNED COPPER WELDS AND GREEN WITH MECHANICAL CONNECTION.
 - BONDING OF THE GROUNDING CONDUCTOR (NATURAL) AND THE GROUNDING CONDUCTOR SHALL BE AT THE SERVICE DISCONNECT. THE BONDING JUMPER SHALL BE INSTALLED PER N.E.C. ARTICLE 250-30.
 - ALL GROUNDING SHALL BE IN ACCORDANCE WITH AT&T ELECTRICAL STANDARD SPECIFICATIONS AND THE LATEST EDITION OF THE NEC.
 - THE CONTRACTOR SHALL HAND DIG AND VERIFY THE EXISTING TOWER/COMPOUND GROUNDING SYSTEM WHICH ANY CONSIDERATION OF THE EXISTING GROUNDING SYSTEM SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL LEAVE THE EXISTING GROUNDING SYSTEM UNDISTURBED AND NOTIFY THE CONSTRUCTION MANAGER OF ANY CONSTRUCTION CORRECTIONS.
 - CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND HAND DIG IN THIS VICINITY TO PROTECT FROM DAMAGE.

GROUND PLAN NOTES:

- EXISTING AT&T EQUIPMENT SHELTER.
- INSTALL NEW 5/8" x 10' GROUND ROD AT 8'-0" OC MAX. (TYP).
- INSTALL NEW 5/8" x 10' GROUND RODS WITH INSPECTION SLEEVE.
- EXISTING EQUIPMENT SHELTER GROUND RING, FIELD VERIFY LOCATION.
- INSTALL NEW TOWER GROUND RING #2 AWG BARE SOLID TINNED COPPER WIRE AT A MINIMUM OF 48" BELOW FINISHED GRADE (OR 6" BELOW FROST LINE, WHICHEVER IS DEEPER).
- EXISTING EXTERIOR MASTER GROUND BAR MOUNTED ON SHELTER TO BE REUSED IN PLACE.
- FIELD VERIFY EXISTING SHELTER INTERIOR GROUNDING STANDARDS.
- INSTALL NEW LOWER TOWER GROUND BAR, ISOLATED, BOND BAR TO THE TOWER GROUND RING WITH #2 AWG BARE SOLID TINNED COPPER WELDS.
- INSTALL UPPER TOWER GROUND BARS, BOND BAR TO THE TOWER, SEE GROUNDING SCHEMATIC.
- INSTALL TWO GROUNDING LEADS FROM NEW TOWER GROUND RING TO EXISTING EQUIPMENT SHELTER GROUND RING AT A MIN OF ONE LEAD, BOND TO SHELTER GROUND RING AT 5/8" x 10' GROUND RODS. PROVIDE NEW AS NECESSARY AND FIELD VERIFY LOCATION AT SHELTER GROUND RING.
- PROVIDE #2 AWG BARE SOLID TINNED COPPER WIRE GROUND LEADS FOR EACH ICE BROOKE POST, (WORK BY OTHERS; BOND EACH ICE BROOKE POST TO THE EQUIPMENT GROUND RING).
- BOND THE TOWER TO THE TOWER GROUND RING W/ MIN OF (2) #2 AWG.
- SHELTER GROUND RING.



CONTRACTOR SHALL REFERENCE AT&T STANDARD DETAILS AND SPECIFICATIONS FOR WIRELESS TELECOMMUNICATION TOWERS.

SCALE: 1" = 20'

SCALE: NTS

GROUNDING PLAN NOTES

SCALE: MTS

GROUNDING GENERAL NOTES

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PROJECT: **NSB**

SHEET NO. **CONSTRUCTION**

CONSTRUCTION DATE: **08.20.14**

REVISIONS:

NO.	DATE	DESCRIPTION
A	01/23/14	CONSTRUCTION REVIEW
B	07/22/14	CONSTRUCTION REVIEW
C	07/22/14	CLEAR PERMIT
D	08/11/14	FOR CONSTRUCTION
E	08/25/14	ADDRESS CORRECTION

APPROVED BY:
DRAWN BY:
CHECKED BY:
T. W. PANEK

REGISTERED PROFESSIONAL ENGINEER
REG. NO. 7314
WILLIAM PANEK
DAKOTA
REGISTERED PROFESSIONAL ENGINEER

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SHEET TITLE: **GROUNDING SITE PLAN**

SHEET NUMBER: **E-1**

AT&T Coax and Jumper Color Code Chart for MNP

Sector	Technology	Frequency	TX/RX	Main Color/ Seam Color	Freq. Color
Alpha [X]	GSMA	850	TDM / FDD	1 Red	1 Orange
Alpha [X]	GSMA	850	TDM / FDD	3 Red	1 Green
Alpha [X]	GSMA	1900	TDM / FDD	1 Red	1 Violet
Alpha [X]	GSMA	1900	TDM / FDD	3 Red	1 Violet
Alpha [X]	UMTS	850	TDM / FDD	2 Red	1 Orange
Alpha [X]	UMTS	850	TDM / FDD	4 Red	1 Orange
Alpha [X]	UMTS	1900	TDM / FDD	2 Red	3 Violet
Alpha [X]	UMTS	1900	RDD / FDD	4 Red	3 Violet

Any line that has main line color will be marked with sector color first and frequency second typically company.

AT&T Main Line Coax and Jumper Color Code Chart for MNP

Sector	Technology	Frequency	TX/RX	Freq. Color	Sector Color
Alpha [X]	LTE	700 MHz	TDD / FDD	1 Green	1 Red
Alpha [X]	LTE	700 MHz	TDD / FDD	3 Green	1 Red
Alpha [X]	LTE	700 MHz	TDD / FDD	1 Green	2 Red
Alpha [X]	LTE	700 MHz	TDD / FDD	1 Green	2 Red
Alpha [X]	LTE	850	TDD / FDD	3 Orange	2 Red
Alpha [X]	LTE	850	TDD / FDD	4 Orange	2 Red
Alpha [X]	UMTS	850	TDD / FDD	1 Orange	2 Red
Alpha [X]	UMTS	850	RDD / FDD	2 Orange	2 Red
Alpha [X]	LTE	1900 PCS	TDM / TDM	1 Violet	2 Red
Alpha [X]	LTE	1900 PCS	TDD / TDD	3 Violet	2 Red
Alpha [X]	LTE	1900 PCS	TDD / FDD	3 Violet	2 Red
Alpha [X]	LTE	1900 PCS	RDD / FDD	4 Violet	2 Red
Alpha [X]	UMTS	1900	TDM / FDD	1 Violet	3 Red
Alpha [X]	UMTS	1900	RDD / TDD	2 Violet	3 Red
Alpha [X]	LTE	710 AWS	TDM / TDD	1 Grey	2 Red
Alpha [X]	LTE	710 AWS	TDD / FDD	2 Grey	2 Red
Alpha [X]	LTE	710 AWS	RDD / FDD	3 Grey	2 Red
Alpha [X]	LTE	710 AWS	TDD / FDD	4 Grey	2 Red
Alpha [X]	LTE	2300 AWS	TDD / FDD	2 Yellow	2 Red
Alpha [X]	LTE	2300 AWS	TDM / FDD	3 Yellow	2 Red
Alpha [X]	LTE	2300 AWS	TDD / FDD	4 Yellow	2 Red

Color coding of jumpers that have Rf1ts on top of tower will have the frequency color first then the sector color. Color coding for LTE/UMTS with Rf1ts on top of towers will only happen on coast from Little to Ansonia. Power and fiber lines will be color coded with alternating gray/white. I will add a stripe for multiple roots from ground to drive bar (DC-47C-12) then tagged with written tag to RMT. If DC-2s are in line then you tag all backpoint points appropriately.

AT&T Main Line Coax and Jumper Color Code Chart for MNPP

Sector	Technology	Frequency	TX / RX	Repeat Color/ Freq Color	Freq Color
Basis (1)	GSMA	850	TDM / FDM	1 White	1 Orange
Basis (1)	GSMA	850	TDD / FDD	1 White	1 White
Basis (1)	GSMA	1900	TDM / FDM	1 White	1 Orange
Basis (1)	GSMA	1900	TDD / FDD	1 White	1 White
Basis (1)	UMTS	850	TDM / FDM	2 White	1 Orange
Basis (1)	UMTS	850	TDD / FDD	2 White	1 Orange
Basis (1)	UMTS	1900	TDM / FDM	2 White	1 Orange
Basis (1)	UMTS	1900	TDD / FDD	2 White	1 White
Basis (1)	UMTS	2100	TDM / FDD	4 White	1 White

Any line that has male line color will be marked with sector color first and frequency second color (physically GSM/UMTS).

AT&T LTE/UMTS RRR at top of tower Jumper Color Code Chart for MNP

Sector	Technology	Frequency	TX / RX	freq Color	Sector Color
Basis (1)	LTE	2100 PCS	TDM / FDM	1 Orange	1 White
Basis (1)	LTE	2100 PCS	TDD / FDD	1 Orange	2 White
Basis (1)	LTE	2100 PCS	TDM / FDM	1 Orange	2 White
Basis (1)	LTE	2100 PCS	TDD / FDD	1 Orange	2 White
Basis (1)	LTE	850	TDM / FDM	1 Orange	2 White
Basis (1)	UMTS	850	TDD / FDD	1 Orange	2 White
Basis (1)	UMTS	850	FDD / FDD	2 Orange	2 White
Basis (1)	LTE	1900 PCS	TDM / FDM	1 White	2 White
Basis (1)	LTE	1900 PCS	TDD / FDD	2 White	2 White
Basis (1)	LTE	1900 PCS	FDD / FDD	3 White	2 White
Basis (1)	LTE	1900 PCS	FDD / FDD	4 White	2 White
Basis (1)	UMTS	1900	TDM / FDM	1 White	3 White
Basis (1)	UMTS	1900	FDD / FDD	1 White	3 White
Basis (1)	UMTS	2100 AWS	TDM / FDM	1 Gray	2 White
Basis (1)	LTE	2100 AWS	TDD / FDD	2 Gray	2 White
Basis (1)	LTE	2100 AWS	FDD / FDD	3 Gray	2 White
Basis (1)	LTE	2100 AWS	FDD / FDD	4 Gray	2 White
Basis (1)	LTE	2300 WCS	TDM / FDM	1 Yellow	2 White
Basis (1)	LTE	2300 WCS	TDD / FDD	2 Yellow	2 White
Basis (1)	LTE	2300 WCS	FDD / FDD	3 Yellow	2 White
Basis (1)	LTE	2300 WCS	TDD / FDD	4 Yellow	2 White

Color coding of jumpers that have RRRs on top of tower will have the frequency color first then the sector color. Color coding for LTE/UMTS with RRRs on top of tower will only happen to come from LTE RRRs to antenna. Power line fiber lines will be color coded with alternating gray/white field a pairs (for multiple runs) from ground to antenna bus (JCS-97C-12) then going into written tags to RRR. If RRRs are in line then you tag all bracketed points appropriately.

AT&T Main Line Coax and Jumper Color Code Chart for MNP

Sector	Technology	Frequency	Tx/Rx	Sector Color/ Main Color	Freq Color
Guam1 (2)	GSMA	850	TDM / GSM	1 Blue	1 Blue
Guam1 (2)	GSMA	850	TDM / GSM	1 Orange	1 Orange
Guam1 (2)	GSMA	850	TDM / GSM	3 Blue	3 Blue
Guam1 (2)	GSMA	850	TDM / GSM	3 Yellow	3 Yellow
Guam1 (2)	UMTS	850	TDM / GSM	3 Blue	3 Blue
Guam1 (2)	UMTS	850	TDM / GSM	3 Yellow	3 Yellow
Guam1 (2)	UMTS	850	TDM / GSM	4 Blue	4 Blue
Guam1 (2)	UMTS	850	TDM / GSM	4 Yellow	4 Yellow
Guam1 (2)	UMTS	1900	TDM / GSM	2 Blue	2 Blue
Guam1 (2)	UMTS	1900	RCD / GSM	4 Blue	4 Blue

Any line that has main line color will be marked with its color (first and frequency second (typically GSM/UMTS)).

AT&T/LTE/UMTS RRR at top of tower Jumper Color Code Chart for MNP

Sector	Technology	Frequency	Tx/Rx	Freq color	Sector Color
Guam1 (2)	LTE	700 B/C	TDM / TDM	2 Green	2 Blue
Guam1 (2)	LTE	700 B/C	TDM / TDM	2 Green	2 Blue
Guam1 (2)	LTE	700 D/E	TDM / TDM	2 Blue	2 Blue
Guam1 (2)	LTE	700 D/E	TDM / TDM	2 Green	2 Blue
Guam1 (2)	LTE	700 D/E	TDM / TDM	4 Green	2 Blue
Guam1 (2)	LTE	850	TDM / GSM	4 Orange	3 Blue
Guam1 (2)	LTE	850	TDM / GSM	4 Orange	2 Blue
Guam1 (2)	UMTS	850	RCD / GSM	1 Orange	2 Blue
Guam1 (2)	UMTS	850	RCD / GSM	2 Orange	2 Blue
Guam1 (2)	LTE	1900 PCS	TDM / TDM	1 Violet	2 Blue
Guam1 (2)	LTE	1900 PCS	TDM / TDM	2 Violet	2 Blue
Guam1 (2)	LTE	1900 PCS	RCD / GSM	3 Violet	2 Blue
Guam1 (2)	LTE	1900 PCS	RCD / GSM	4 Violet	3 Blue
Guam1 (2)	UMTS	1900	RCD / GSM	1 Violet	4 Blue
Guam1 (2)	UMTS	1900	RCD / GSM	2 Violet	4 Blue
Guam1 (2)	LTE	2100 AWS	TDM / TDM	1 Gray	2 Blue
Guam1 (2)	LTE	2100 AWS	TDM / TDM	2 Gray	2 Blue
Guam1 (2)	LTE	2100 AWS	RDM / GSM	3 Gray	3 Blue
Guam1 (2)	LTE	2100 AWS	TDM / GSM	4 Gray	2 Blue
Guam1 (2)	LTE	2300 WCS	TDM / GSM	1 Yellow	2 Blue
Guam1 (2)	LTE	2300 WCS	TDM / GSM	2 Yellow	2 Blue
Guam1 (2)	LTE	2300 WCS	TDM / GSM	3 Yellow	2 Blue
Guam1 (2)	LTE	2300 WCS	TDM / GSM	4 Yellow	2 Blue

Color coding of jumpers that have B/C at top of tower will have the frequency color first then the sector color. Color coding for LTE/UMTS with B/C at top of tower will only happen on coax from LTE RRR to antenna. Power and fiber lines will be color coded with alternating gray/white (add a stripe for multiple runs) from ground to split box (DC-49C-12) then tagged with written tags to ring. If DC-25 are in line then you tag all breakout points appropriately.

COLOR COORDS LOCATIONS:

- AT CONNECTIONS - CABLE TO CABLE AND CABLE TO EQUIPMENT.
- AT TOWER BASE.
- AT HATCH PLATE - BOTH INSIDE AND OUTSIDE.

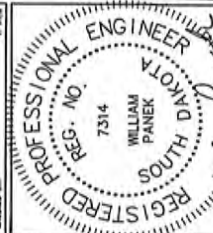
COLOR CODING STANDARD

NOTES:

1. CONTRACTOR TO REFER TO FINAL RF DATA SHEET (RFDs) AND COLOR CODE CHART PRIOR TO CONSTRUCTION.
2. PROVIDE A COPY OF THE COLOR CODE CHART IN A DOCUMENT PROTECTOR AND AFFIX TO INTERIOR WALL NEXT TO THE HATCH POST.

CONVULSIVE WEATHERING

BUTL AND TAPE WILL BE APPLIED ON ALL COAX CONNECTIONS IN THE AMP MARKET EXCEPT FOR MULTIPORT ANTENNAS, THA'S, DIPLEXERS/DUPLEXERS, AND ANY COAX CONNECTION WHERE SPACE LAUNDERIES PREVENT THE PROPER APPLICATION OF BUTL & TAPE. ONLY THE TICO WATERPROOFING CANGHELLS AND 3M SAMP LOOK WATERPROOFING CANGHELLS ARE APPROVED FOR USE IN THE AMP MARKET FOR USE ON THE COAX CONNECTIONS FOR MULTIPORT ANTENNAS, THA'S, DIPLEXERS/DUPLEXERS, AND ANY COAX CONNECTION WHERE SPACE LAUNDERIES PREVENT THE PROPER APPLICATION OF BUTL & TAPE.

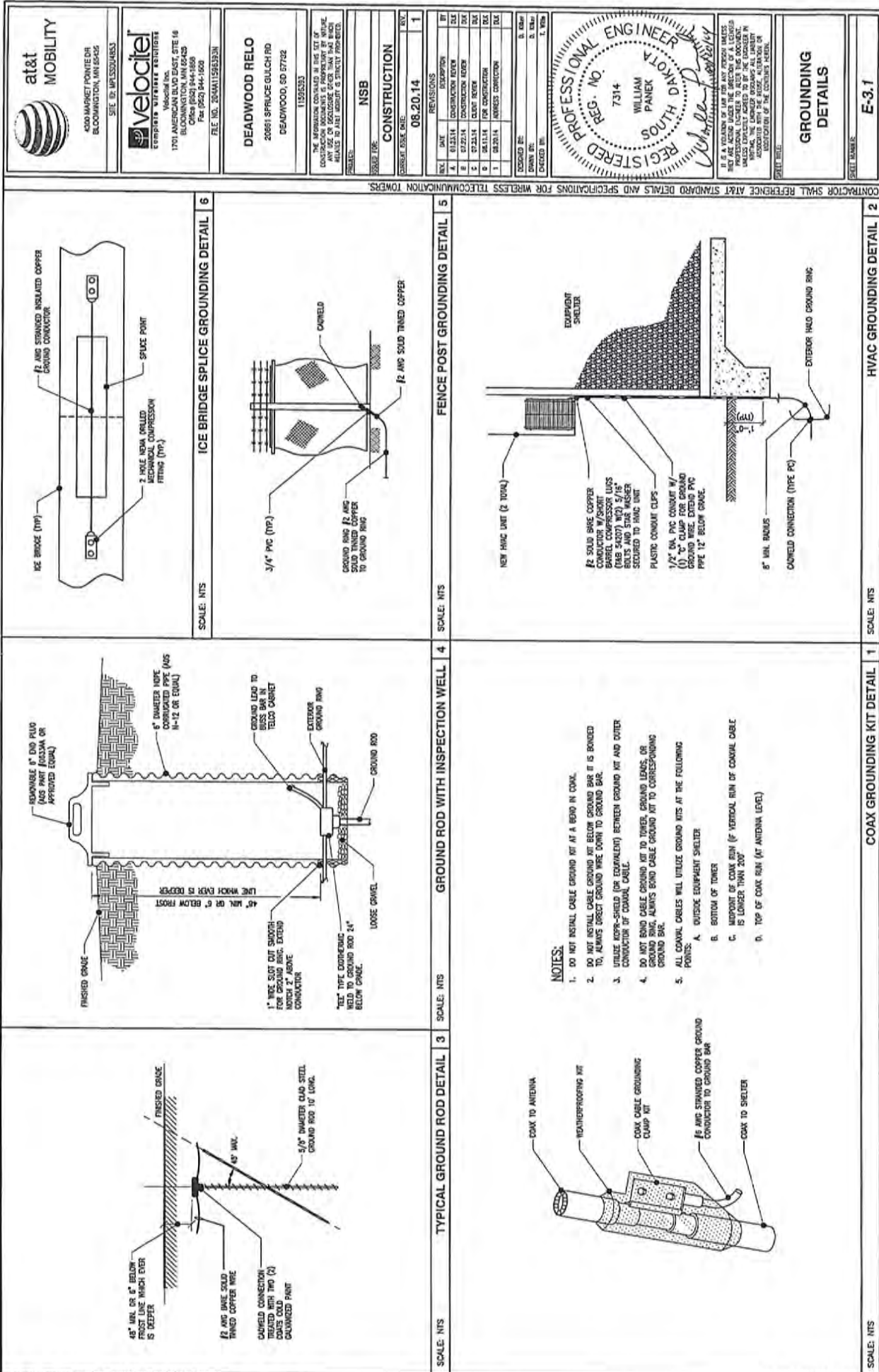


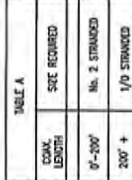
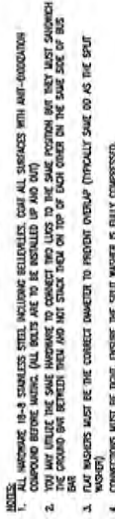
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SCALE: NTS

COLOUR CODING STANDARD	1
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F-2





COAL LENGTH	No. OF MID-CROUND BARS
0' - 200'	0
200' - 300'	1
300' - 400'	2
400' - 500'	3
500' - 600'	4

1. ANTENNA: SEE RFDs FOR MODEL AND QUANTITY.
2. ANTENNA JUMPER: SEE RFDs FOR SIZE.
3. COAXIAL CABLE: SEE RFDs FOR QUANTITY AND SIZE.
4. RET CABLE: SEE SHEET E3 FOR MORE INFORMATION.
5. TWA, DIPLEXOR OR RRH: SEE RFDs FOR MORE INFORMATION.
6. TOP TOWER GROUND BUS: INSTALL NEW GROUND BAR (IF APPLICABLE); UNLESS OTHERWISE NOTED, BOND DIRECTLY TO TOWER.
7. MID TOWER GROUND BUS: INSTALL GROUND BUS(S) PER TABLE "B" BELOW; UNLESS OTHERWISE NOTED, BOND DIRECTLY TO TOWER.
8. LOWER TOWER GROUND BAR: INSTALL ISOLATED GROUND BAR WITH TWO LEADS CONNECTED TO TOWER GROUND RING.
9. SUGGEST EQUIPMENT GROUND BAR: INSTALL ISOLATED GROUND BAR WITH TWO CONNECTION LEADS TO EQUIPMENT SHELTER GROUND RING.
10. RET GROUND: SEE COAX GROUND KIT DETAIL FOR MORE INFORMATION.
11. COAXIAL CABLE GROUND KIT: SEE COAX GROUND KIT TO ANTENNA CABLE DETAIL FOR MORE INFORMATION.
12. (1) #4 OR #6 AND STRANDED COPPER WIRE WITH GREEN, 600V, THIN INSULATION.
13. (2) GREEN INSULATED HOME RUN GROUND LEADS TO EXISTING GROUND RINGS. BOND TO EXISTING TOWER OR EXISTING GROUND RINGS.
14. SECTOR GROUND BUS: INSTALL ISOLATED GROUND BARS AT EACH SECTOR (TYPICALLY THREE SECTORS, SEE RFDs).
15. (2) GREEN INSULATED HOME RUN GROUND LEADS, SEE TABLE FOR SIZE FOR OTHER CONDITIONS.
16. (2) GREEN INSULATED HOME RUN GROUND LEADS, SEE TABLE FOR SIZE FOR OTHER CONDITIONS. UNLESS OTHERWISE NOTED, NOT USED ON STEEL TOWERS.



800 MARKET POINTE DR
LOOMINGTON, MN 55405



velocity
complete wireless solutions

01 AMERICAN BLVD EAST, STE 10
BLOOMINGTON, MN 55425
Office (612) 644-1858
Fax (612) 644-1858

FILE NO. 2044411596J9JN

DEADWOOD RELO
20201 SPRUCE GULCH RD
DEADWOOD, SD 57732

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1100

CONSTRUCTION

0.14	1
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REVISIONS		
REV	DATE	DESCRIPTION

100	100
100	100

C	07/23/14	CUEING REVIEW	DU
D	08/11/14	FOR CONSTRUCTION	DU

100	100
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PERSONS INC.	Q. KILPAT
CHANNI ETC.	Q. KILPAT

[illegible]

ESS/OM

CV 95

7314

WILLIAM
JANKE

FER
OKO

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2/19/2014

IN THE DIRECTION OF A LEASED
OR TO ALTER THIS DOCUMENT.

TER DISCLAMER AND LIABILITY
THE FUTURE, ALTHOUGH ON
THEir conduct is not

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FUNDING

TAILS

15 JULY 2004

3.2

Date: September 5, 2014

Case No. 14055

Address: 51 Taylor Street

Staff Report

The applicant has submitted an application for Project Approval for work at 51 Taylor Street a non-contributing structure located in the Ingleside Planning Unit in the City of Deadwood.

Applicant: Kris & Christina Creger

Owner: Same

Constructed: c. 1890

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

- 1. Historic significance of the resource:** This is a late nineteenth-century house that has received substantial non-historic modification. It has a modern foundation and has resided with modern T-111 siding. There is a modern picture window on the primary facade, and the historic front porch has been enclosed. Because of the loss of integrity caused by these and other changes, this building cannot currently contribute to the Deadwood National Historic Landmark District.
- 2. Architectural design of the resource and proposed alterations:** The applicant requests permission to install 2 windows and French doors; add deck to north side; and repair chimney at 51 Taylor Street as submitted.

Attachments: Yes

Plans: No

Photos: Yes

Staff Opinion: The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.





Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

#14055

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

City of Deadwood Application for ☒ Project Approval or ☐ Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work that is in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 51 Taylor Avenue, Deadwood, SD 57732

Historic Name of Property (if known): N/A - NOT Historical

APPLICANT INFORMATION

Applicant is ☐ owner ☐ contractor ☐ architect ☐ consultant ☐ other _____

Owner's Name: KRIS CREGER, Christina
Address: Same AS Above
City: Deadwood State: SD Zip: 57732
Telephone: 605-641-2642 Fax: 541-816-1232
E-mail: accessandee@charter.net

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: Floyd Stewart
Address: #2 Neptune Dr
City: Rapid City State: SD Zip: 57701
Telephone: 605-415-3866 Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|---|--|
| ☒ Alteration (change to exterior) | ☐ New Building | ☐ Addition | ☐ Accessory Structure |
| ☐ New Construction | ☐ Re-Roofing | ☒ Wood Repair (<u>Subfloor</u>) | ☐ Exterior Painting |
| ☒ General Maintenance | ☐ Siding | Other _____ | ☐ Fencing |
| ☒ Other <u>Bathroom Renovation</u> | ☐ Awning | ☐ Sign | |

Estimated Cost of Work: \$ 3866.80

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>08-25-2014</u>		Project Completion Date (anticipated): <u>09-25-2014</u>	
☒ ALTERATION	☒ Front	☒ Side(s)	☒ Rear <u>BATHROOM RENOVATION</u>
☒ ADDITION	☐ Front	☒ Side(s)	☐ Rear <u>15 Feet APPROX DECK (North Side)</u>
☐ NEW CONSTRUCTION	☐ Residential		☐ Other
☐ ROOF	☐ New	☐ Re-roofing	
	☐ Front	☐ Side(s)	☐ Rear
☐ GARAGE	☐ New	☐ Rehabilitation	
	☐ Front	☐ Side(s)	☐ Rear
☐ FENCE/GATE	☐ New	☐ Replacement	
	☐ Front	☐ Side(s)	☐ Rear
Material		Style/type Dimensions	
☒ WINDOWS	☐ STORM WINDOWS	☒ DOORS	☐ STORM DOORS
	☐ Restoration	☐ Replacement	☐ New
	☐ Front	☐ Side(s)	☐ Rear
Material		Style/type	
☐ SIGN/AWNING	☐ New	☐ Restoration	☐ Replacement
Material		Style/type Dimensions	
☒ OTHER - Describe in detail below or use attachments <u>See Below AND See Attached Estimate</u>			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Note: Three SEPARATE CONTRACTORS Will Be PERFORMING WORK/REPAIRS: ① Floyd Stewart ② JOHN HUGGIN
③ TYNDALL PLUMBING

* SHEETROCK Small Closet (2 1/2' x 8'); Add Shelves (off LIVING RM) * BATHROOM RENOVATION - SHEETROCK, SUBFLOOR, TILING FLOOR

* INSTALL WINDOWS: ENTRY - OCTAGONAL CASEMENT (approx 2 1/2' x 2 1/2') (FRONT) * KITCHEN FLOOR

* " FRENCH DOOR: NORTH Side - MSTR BATHRM (Same Side as FRENCH DOOR & VINYL WDW) - APPROX 15 FT

* KITCHEN - SUBFLOOR Repair: CUT OUT Plywood & Replace w/ plywood * TILE KITCHEN FLOOR

* CHIMNEY Repair: MORTAR Repair OVER WIRE MESH w/ Prime/Seal AND STUCCO AND/OR PAINT

SEPARATE TRADE FOR PLUMBING WORK

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS: MSTR BATHRM

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- ☒ Written description of area involved. → See Attached Estimate
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used. Grey W/ white window & fascia trim
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

SIGNATURES

I HEREBY CERTIFY that I understand this application will not be accepted and processed until all the requested information has been supplied. I realize that drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand that this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand that approval is issued for proposed work that is in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Christine Anne Craig 08-25-2014
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office and the City Clerk. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the enclosed criteria checklist as a guide to completing the application.

Incomplete applications cannot be reviewed and will be returned to you for more information.

All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

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DEADWOOD

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Deadwood, South Dakota 57732

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102 Sherman Street
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FOR OFFICE USE ONLY:

Please check and initial items as they are completed.

Case No.: _____ Date of Filing: _____

- ☐ Certificate of Appropriateness
- ☐ Project Approval
- ☐ Sign Application

Property Designation:

- ☐ Contributing
- ☐ Non-contributing

Historic Overlay District:

- | | | |
|--|---|--|
| ☐ 1. Pluma | ☐ 5. McGovern Hill | ☐ 9A. Large's Gulch |
| ☐ 2. Peck's Garden | ☐ 6. Ingleside | ☐ 9B. Spruce Gulch |
| ☐ 3. Cleveland | ☐ 7. Upper Main Street | ☐ 10. Fountain City |
| ☐ 4. Deadwood | ☐ 8A. City Creek | ☐ 11. 1 st Ward - Industrial |
| ☐ A. Deadwood City | ☐ 8B. Forest Hill | ☐ 12. Pinecrest |
| ☐ B. South Deadwood | ☐ 8C. Highland Park | ☐ 13. Hillside Environs |
| ☐ C. Chinatown | Addition | |
| ☐ D. Elizabeth Town | | |

Application complete

Project Documents submitted (check all that apply)

- ☐ Photographs of property and/or adjacent properties
- ☐ Drawings and/or architectural renderings
- ☐ Materials and/or color samples
- ☐ Other

Staff Preparation

Initials _____ Date below _____

- | | | |
|---|-------|--|
| ☐ Site Visit | _____ | ____/____/____ |
| ☐ Project visible from right-of-way? | _____ | ☐ Yes ☐ No |
| ☐ Logged into HPC Agenda | _____ | ____/____/____ |
| ☐ Staff Report (research) | _____ | ____/____/____ |
| ☐ Packet to HPC Members | _____ | ____/____/____ |

Post Meeting Documentation

Initials _____

Date below _____

- | | | | |
|--|---------------------------------|-------|----------------|
| ☐ Approval | ☐ Denial | _____ | ____/____/____ |
| ☐ Property owner notification | | _____ | ____/____/____ |

Building & Zoning Department (if applicable)

Initials _____

Date below _____

- | | | |
|--|-------|----------------|
| ☐ Building Permit Application | _____ | ____/____/____ |
| ☐ Setback(s) checked by P & Z | _____ | ____/____/____ |
| ☐ Detailed plans reviewed | _____ | ____/____/____ |
| ☐ Building Permit Issued | _____ | ____/____/____ |
| ☐ Fee collected (if applicable) | _____ | ____/____/____ |
| ☐ Setback(s) reviewed | _____ | ____/____/____ |

Filed on ____/____/____

Proposal

Page # _____ of _____ pages

COPY

WORK TO BE COMPLETED BY:

Floyd Stewart
#2 Neptune Dr.
Rapid City, SD. 57701
(605) 415-3966

PROPOSAL SUBMITTED TO:

Andee Creger

JOB NAME

House Repairs

JOB #

ADDRESS

51 Taylor St.

JOB LOCATION

Deadwood

DATE

8-25-14

DATE OF PLANS

PHONE #

Home 641-2642 Cell 641-816-1232

FAX #

ARCHITECT

We hereby submit specifications and estimates for: Main Floor Closet: Add some 2x4's, sheetrock tape. Install shelves. Main Floor Entry Area: Cut Hole in wall install octagon window. Install 32' of ceiling quarter round.

Main Floor Bath: Add 3/4" cob on floor to get grade. Apply 1/4" milled birch subfloor for a level application of tile. Add studs where needed. Then sheetrock entire area. Tape. Remove old window and cover where needed. Install walk-in-door where owner designated. Kitchen: Cut out and remove an area of the floor approx. 4'x8' area in front of kitchen sink. Check floor joist for strength & stability. Add new piece of 1/2" CDX plywood to reach original depth of floor. Install 1/4" birch subfloor for a level, smooth area to apply tile. When tile is grouted, then install base to finish floor. Deck Add On: Build an area about 4'x8' Install 5 step stringer for steps. 4x4's to be placed on pier blocks. Chimney Repair: Install wire mesh with flat washers and screws. Coat with mixture of latex bonding agent and stucco mix. Then apply with rubber scrubber.

Note: Any additional work will be an add-on with additional cost.

Total Labor \$3866.80

We propose to furnish material and labor - complete in accordance with the above specifications for the sum of:

\$1000.00 in advance and \$1933.40 upon completion Dollars

Monday August 25th

with payments to be made as follows: \$993.40

To be paid on this day

Any alteration or deviation from above specifications involving extra costs will be executed only upon written order, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents, or delays beyond our control.

Respectfully submitted

Andee Creger

CAC

Note - this proposal may be withdrawn by us if not accepted within _____ days.

Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payments will be made as outlined above.

Signature

Floyd Stewart

Date of Acceptance 8-25-14

Signature

614 INDIANA ST
RAPID CITY, SD. 57701
605-858-5576

INVOICE NO. _____

THANK-YOU FOR YOUR BUSINESS

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

KEVIN KUCHENBECKER
Historic Preservation Officer
Telephone: (605) 578-2082
Fax: (605) 578-2084
kevin@cityofdeadwood.com

MEMORANDUM

Date: September 5, 2014
To: Deadwood Historic Preservation Commission
From: Kevin Kuchenbecker, Historic Preservation Officer
Re: Project Approvals for 270 Main Street and 2 Fremont

This office has received applications for Project Approvals at 270 Main Street and 2 Fremont. The applications will take time to fully review and develop a staff report on the potential adverse effect on the National Landmark District.

Due to the scheduled Deadwood Stagecoach Days, this office will be working on staff reports for these two applications on Monday of next week. In the meantime both applications are included in this packet.

The final staff reports will be forwarded to you for consideration early next week.

Thank you for your understanding.

Wed 3rd Noon x 14054

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DEADWOOD

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DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

City of Deadwood Application for ☒ Project Approval or ☒ Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work that is in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>270 Lower Main Street</u>
Historic Name of Property (if known): <u>First Gold Hotel</u>

APPLICANT INFORMATION	
Applicant is ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other _____	
Owner's Name: <u>Mike Gustafson</u>	Architect's Name: _____
Address: <u>270 Lower Main Street</u>	Address: _____
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>	City: _____ State: _____ Zip: _____
Telephone: <u>605-920-1187</u> Fax: _____	Telephone: _____ Fax: _____
E-mail: <u>Jerrya@firstgold.com</u>	E-mail: _____
Contractor's Name: _____	Agent's Name: <u>Hermanson Egge Engineering</u>
Address: _____	Address: <u>2693 - C Commerce Road</u>
City: _____ State: _____ Zip: _____	City: <u>Rapid City</u> State: <u>SD</u> Zip: <u>57702</u>
Telephone: _____ Fax: _____	Telephone: <u>605-342-6680</u> Fax: <u>605-342-6853</u>
E-mail: _____	E-mail: <u>mike@hermansonegge.com</u>

TYPE OF IMPROVEMENT			
☐ Alteration (change to exterior)	☐ New Building	☐ Addition	☒ Accessory Structure
☐ New Construction	☐ Re-Roofing	☐ Wood Repair	☐ Exterior Painting
☐ General Maintenance	☐ Siding	Other _____	☐ Fencing
☐ Other _____	☐ Awning	☐ Sign	
Estimated Cost of Work: \$ <u>130,000</u>			

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
☐ ALTERATION	☐ Front	☐ Side(s)	☐ Rear
☐ ADDITION	☐ Front	☐ Side(s)	☐ Rear
☐ NEW CONSTRUCTION	☐ Residential		☐ Other _____
☐ ROOF	☐ New	☐ Re-roofing	
	☐ Front	☐ Side(s)	☐ Rear
☐ GARAGE	☐ New	☐ Rehabilitation	
	☐ Front	☐ Side(s)	☐ Rear
☐ FENCE/GATE	☐ New	☐ Replacement	
	☐ Front	☐ Side(s)	☐ Rear
Material _____		Style/type _____ Dimensions _____	
☐ WINDOWS	☐ STORM WINDOWS	☐ DOORS	☐ STORM DOORS
	☐ Restoration	☐ Replacement	☐ New
	☐ Front	☐ Side(s)	☐ Rear
Material _____		Style/type _____	
☐ SIGN/AWNING	☐ New	☐ Restoration	☐ Replacement
Material _____		Style/type _____ Dimensions _____	
☒ OTHER - Describe in detail below or use attachments <u>Covered Parking Area</u>			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

A Rustic looking Covered Parking Area - It will be covered on the roof and S' Down on the Side Facing Hwy 85. The Columns are old Steel Beams Salvaged from Homestake.

The Roof end Frame Steel will be Sine wave Cold rolled Steel that will provide a Rustic finish to Accent the Steel Beam Columns

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☒ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- ☒ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☒ Exterior material description. *See Attached Steel Data Sheet*
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

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DEADWOOD

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SIGNATURES

I HEREBY CERTIFY that I understand this application will not be accepted and processed until all the requested information has been supplied. I realize that drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand that this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand that approval is issued for proposed work that is in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

By Mike Gustafson 9-3-14

SIGNATURE OF OWNER(S) DATE

Tary Hernansey 9/2/14

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

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FOR OFFICE USE ONLY:

Please check and initial items as they are completed.

Case No.: _____ Date of Filing: _____

- ☐ Certificate of Appropriateness
- ☐ Project Approval
- ☐ Sign Application

Property Designation:

- ☐ Contributing
- ☐ Non-contributing

Historic Overlay District:

- | | | |
|--|---|--|
| ☐ 1. Pluma | ☐ 5. McGovern Hill | ☐ 9A. Large's Gulch |
| ☐ 2. Peck's Garden | ☐ 6. Ingleside | ☐ 9B. Spruce Gulch |
| ☐ 3. Cleveland | ☐ 7. Upper Main Street | ☐ 10. Fountain City |
| ☐ 4. Deadwood | ☐ 8A. City Creek | ☐ 11. 1 st Ward – Industrial |
| ☐ A. Deadwood City | ☐ 8B. Forest Hill | ☐ 12. Pinecrest |
| ☐ B. South Deadwood | ☐ 8C. Highland Park | ☐ 13. Hillside Environs |
| ☐ C. Chinatown | Addition | |
| ☐ D. Elizabeth Town | | |

Application complete

Project Documents submitted (check all that apply)

- ☐ Photographs of property and/or adjacent properties
- ☐ Drawings and/or architectural renderings
- ☐ Materials and/or color samples
- ☐ Other

Staff Preparation

Initials _____ Date below _____

- | | | | |
|---|-------|----------------|--|
| ☐ Site Visit | _____ | ____/____/____ | ☐ Yes ☐ No |
| ☐ Project visible from right-of-way? | _____ | ____/____/____ | |
| ☐ Logged into HPC Agenda | _____ | ____/____/____ | |
| ☐ Staff Report (research) | _____ | ____/____/____ | |
| ☐ Packet to HPC Members | _____ | ____/____/____ | |

Post Meeting Documentation

Initials _____

Date below _____

- | | | | |
|--|---------------------------------|-------|----------------|
| ☐ Approval | ☐ Denial | _____ | ____/____/____ |
| ☐ Property owner notification | | _____ | ____/____/____ |

Building & Zoning Department (if applicable)

Initials _____

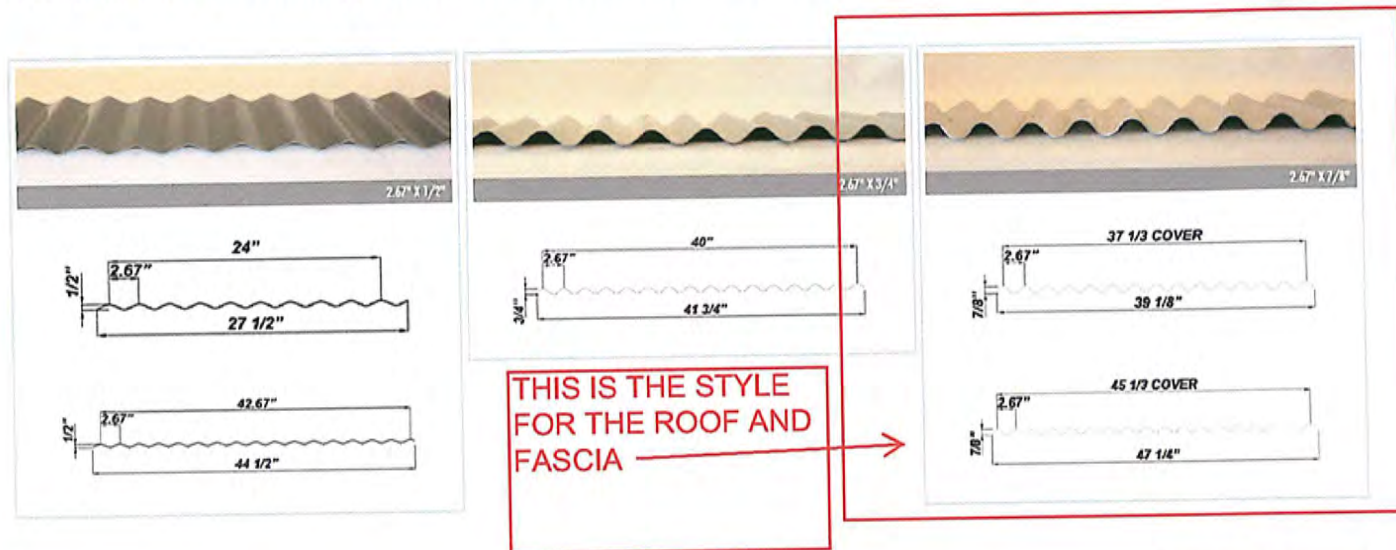
Date below _____

- | | | |
|--|-------|----------------|
| ☐ Building Permit Application | _____ | ____/____/____ |
| ☐ Setback(s) checked by P & Z | _____ | ____/____/____ |
| ☐ Detailed plans reviewed | _____ | ____/____/____ |
| ☐ Building Permit Issued | _____ | ____/____/____ |
| ☐ Fee collected (if applicable) | _____ | ____/____/____ |
| ☐ Setback(s) reviewed | _____ | ____/____/____ |

Filed on ____/____/____

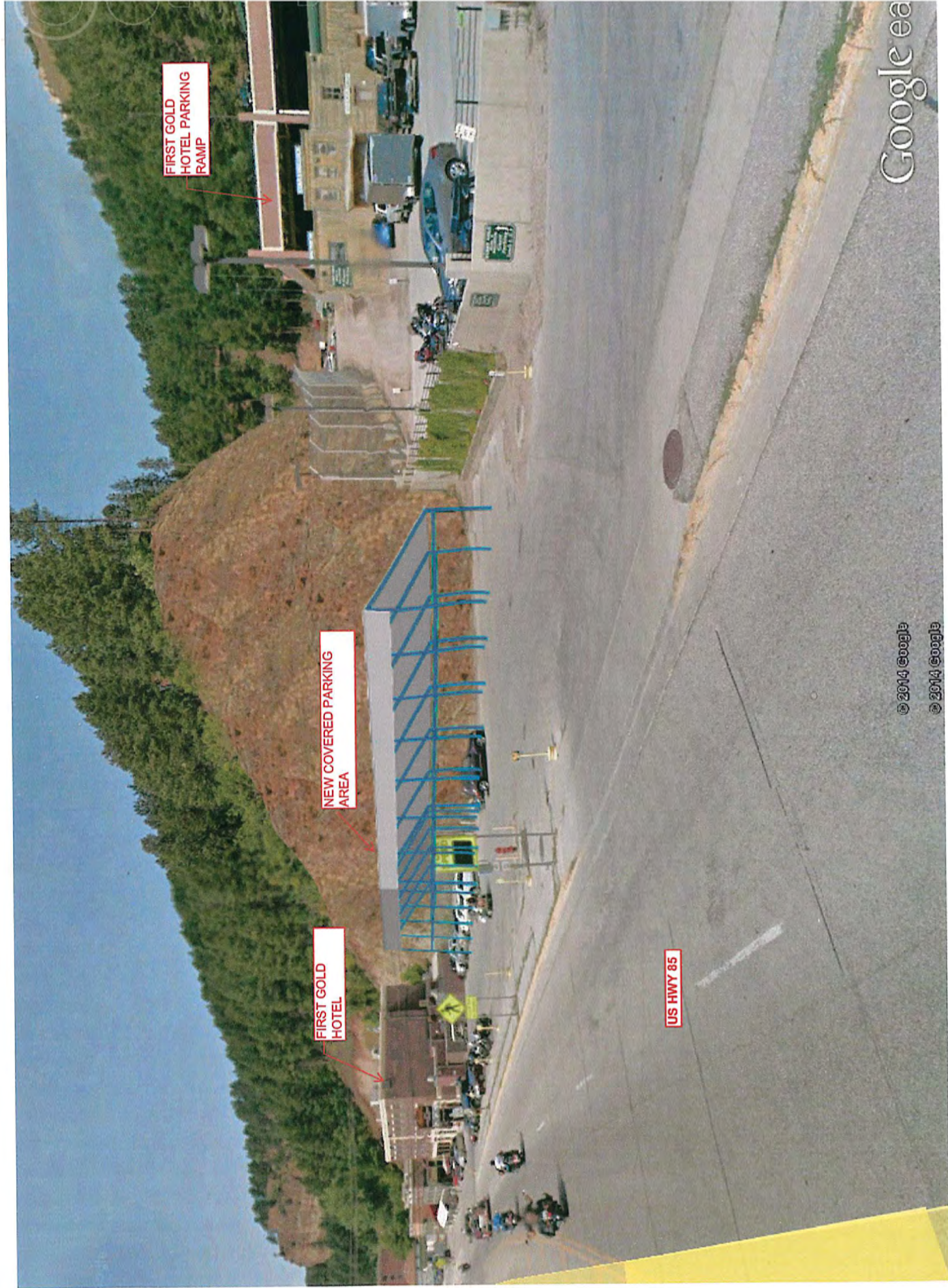
DESCRIPTION/SPECIFICATIONS

Corrugated Metals, Inc.'s Sinewave industrial roofing and siding products are the standard patterns for the industry. They provide improved strength in the materials and are easy to install and economical to use. The most common uses are industrial, commercial and architectural applications. These products offer a rib pattern of 2.67" centers and a depth of 1/2", 3/4", or 7/8".



	Aluminum	Steel	Stainless Steel	ASTM A606 Weathering Steel
Alloys	3004, 3003, 3105, 5052, 5083, 3004/7072 Alclad	Hot-Dip Galvanized Steel, CRCQ (Cold-Rolled Commercial Quality)	304, 3042B, 316, 409 Aluminized	A naturally oxidizing product to provide the appearance of rust
Thicknesses:	.015" to .100"	29GA – 12GA	24GA – 12GA	22GA – 12GA
Lengths:	12 inches - 90 feet	12 inches - 90 feet	12 inches - 90 feet	12 inches - 90 feet
Finishes:	Bare (Mill Finish) Stucco Embossed, Painted (Any color subject to code)	Bare (Mill Finish) Painted (Any color subject to code)	Bare (Mill Finish) Stucco Embossed	Naturally oxidized
Paint System:	Kynar, Siliconized, Polyester, Plastisol	Kynar, Siliconized, Polyester, Plastisol	Not Applicable	Not Applicable

	2.67 x 1/2"		2.67 x 3/4"	2.67 x 7/8"
Widths:	44 1/2"	27 1/2"	41 3/4"	39 1/8"
Roofing Coverage:	40"	24"	37 1/3"	34 2/3"
Siding Coverage	42 2/3"		40	37 1/3"



FIRST GOLD
HOTEL PARKING
RAMP

NEW COVERED PARKING
AREA

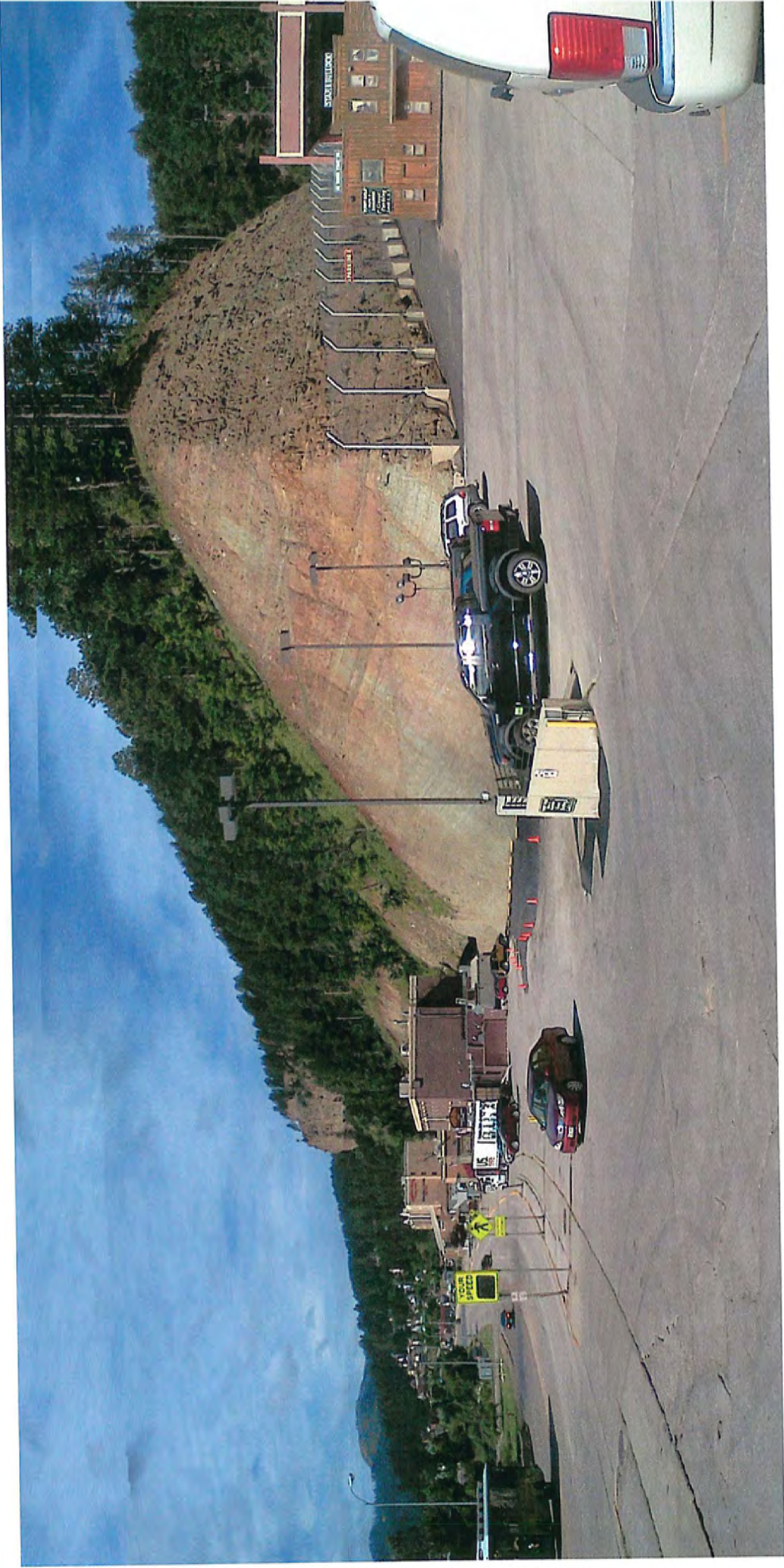
FIRST GOLD
HOTEL

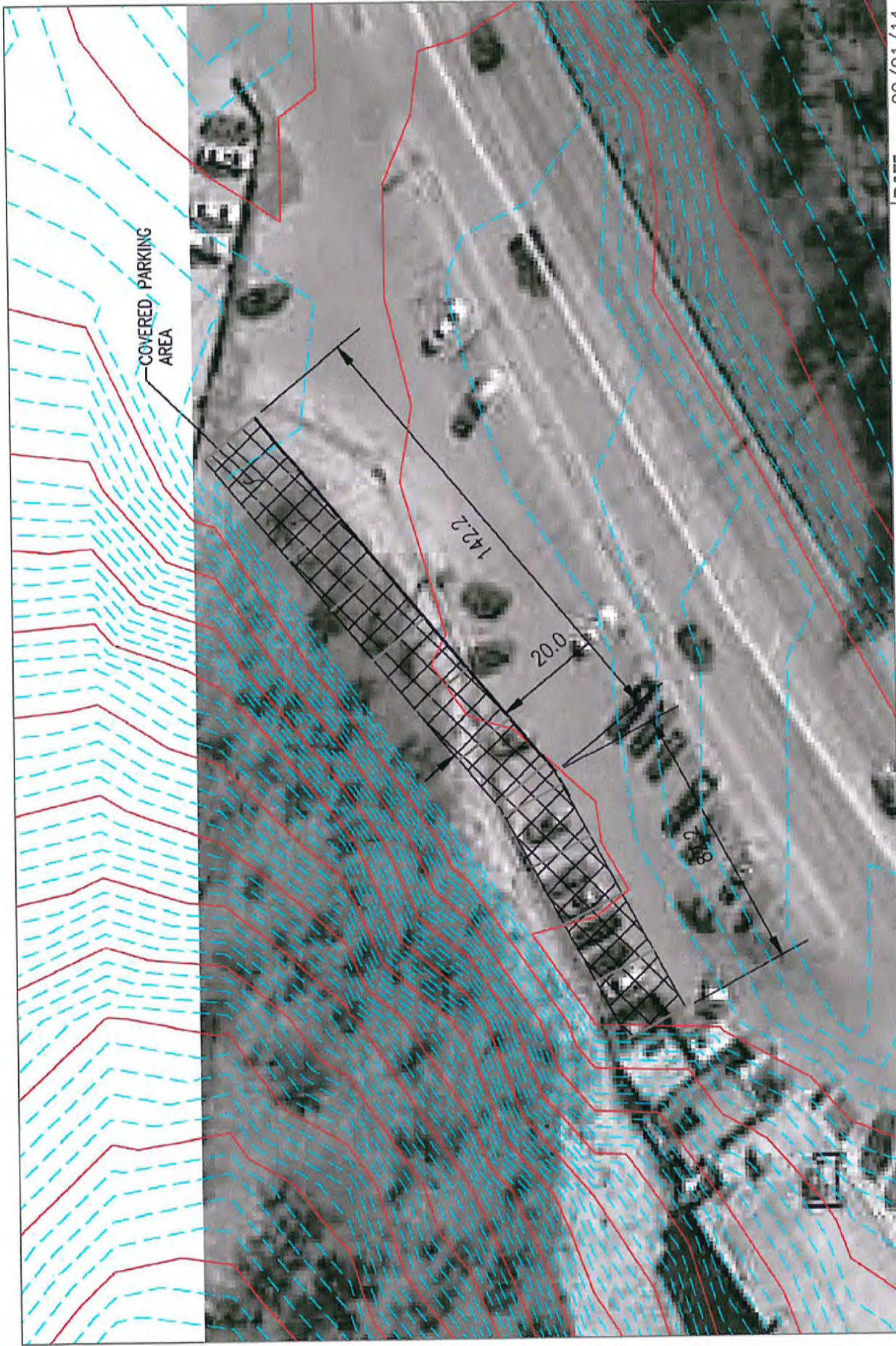
US HWY 85

Google ea

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© 2014 Google



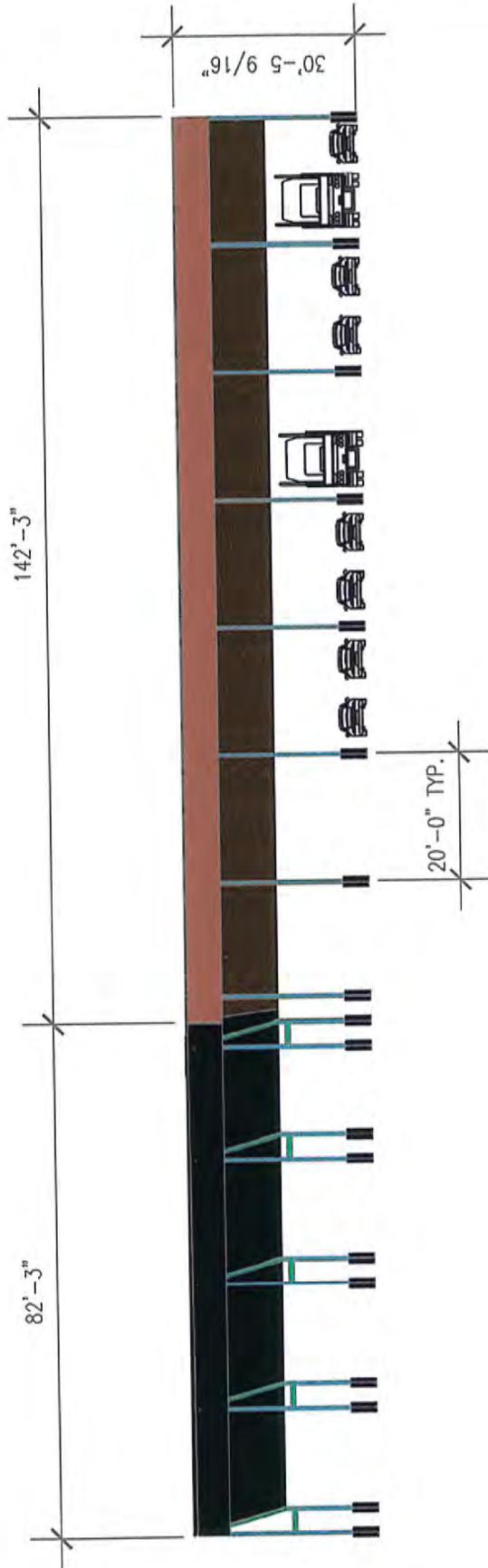


DATE: 09/01/14
JOB NO.: 14-077
SHEET NO.:

1.1

FIRST GOLD COVERED PARKING AREA
PLAN VIEW
FIRST GOLD HOTEL
DEADWOOD, SOUTH DAKOTA

HE
HERMANSON EGGE
ENGINEERING, INC.
STRUCTURAL CONSULTING ENGINEERS
2693C COMMERCE ROAD
RAPID CITY, SD 57702
PHONE (605) 342-0680



2693C COMMERCE ROAD
RAPID CITY, SD 57702
PHONE (605) 342-0680

HERMANSON ENGINEERING, INC.
STRUCTURAL CONSULTING ENGINEERS

FIRST GOLD COVERED PARKING AREA
OVERALL ELEVATION
FIRST GOLD HOTEL
DEADWOOD, SOUTH DAKOTA

DATE: 09/01/14
JOB NO.: 14-077
SHEET NO.:

1.3

METAL ROOF

METAL SIDING

HSS5x5x1/2,
TYP.

18" Ø CONC.
PIER

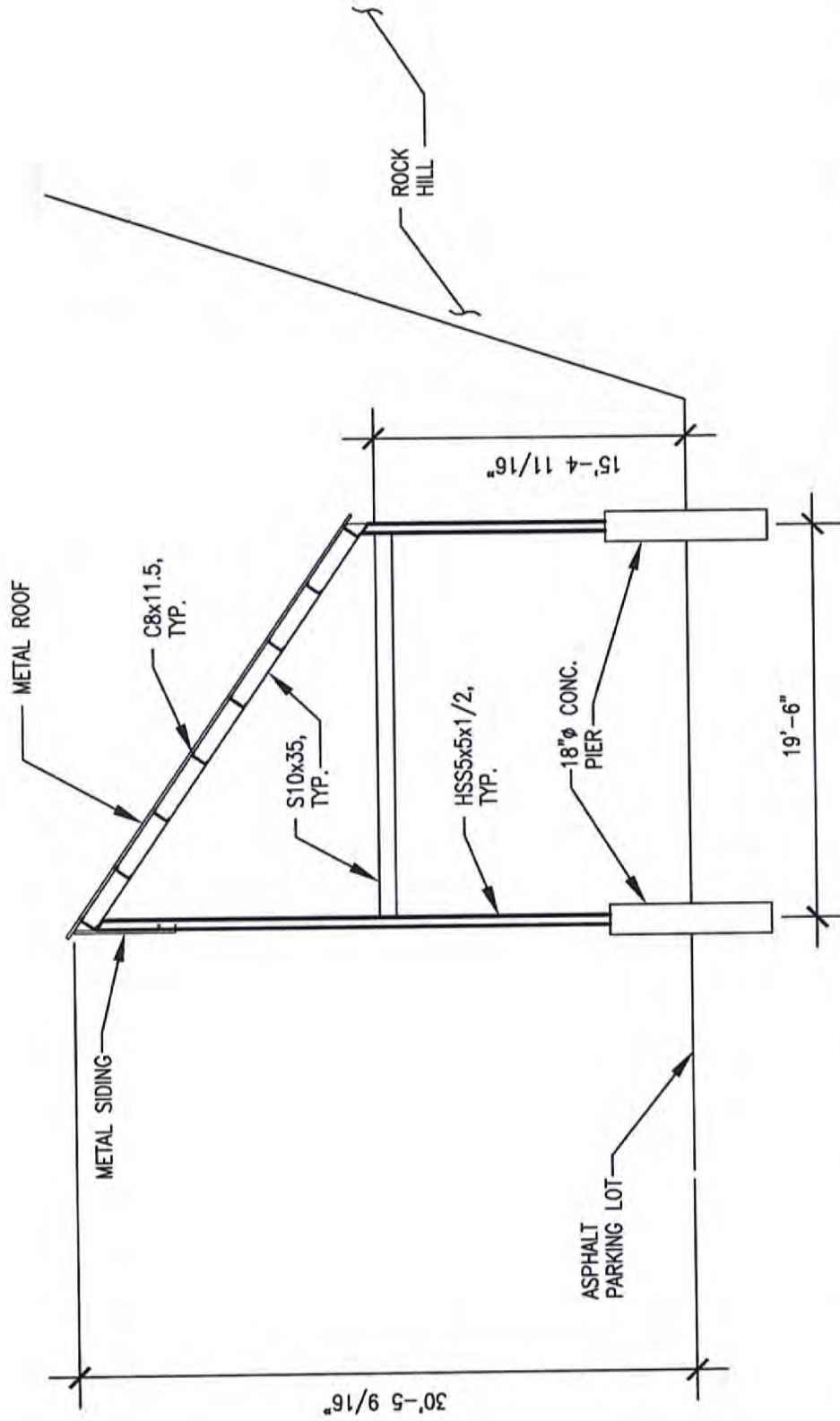
20'-0" TYP.

DATE: 09/01/14
JOB NO.: 14-077
SHEET NO.:

1.4

FIRST GOLD COVERED PARKING AREA
ELEVATION
FIRST GOLD HOTEL
DEADWOOD, SOUTH DAKOTA

HE
HERMANSON EGGE
ENGINEERING, INC.
STRUCTURAL CONSULTING ENGINEERS
2693C COMMERCE ROAD
RAPID CITY, SD 57702
PHONE (605) 342-0680



DATE: 09/01/14
 JOB NO.: 14-077
 SHEET NO.:

1.2

FIRST GOLD COVERED PARKING AREA
 CROSS-SECTION
 FIRST GOLD HOTEL
 DEADWOOD, SOUTH DAKOTA

HE
 HERMANSON EGGE
 ENGINEERING, INC.
 STRUCTURAL CONSULTING ENGINEERS
 2693C COMMERCE ROAD
 RAPID CITY, SD 57702
 PHONE (605) 342-0680

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

KEVIN KUCHENBECKER
Historic Preservation Officer
Telephone: (605) 578-2082
Fax: (605) 578-2084
kevin@cityofdeadwood.com

MEMORANDUM

Date: September 5, 2014
To: Deadwood Historic Preservation Commission
From: Kevin Kuchenbecker, Historic Preservation Officer
Re: Project Approvals for 270 Main Street and 2 Fremont

This office has received applications for Project Approvals at 270 Main Street and 2 Fremont. The applications will take time to fully review and develop a staff report on the potential adverse effect on the National Landmark District.

Due to the scheduled Deadwood Stagecoach Days, this office will be working on staff reports for these two applications on Monday of next week. In the meantime both applications are included in this packet.

The final staff reports will be forwarded to you for consideration early next week.

Thank you for your understanding.

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DEADWOOD

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Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

City of Deadwood Application for ☒ Project Approval or ☐ Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work that is in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION	
Property Address:	2 Fremont St. Deadwood
Historic Name of Property (if known):	

APPLICANT INFORMATION	
Applicant is ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other _____	
Owner's Name: <u>Jeff Snedeker</u> Address: <u>59 Stewart St</u> City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u> Telephone: <u>605 644 1847</u> Fax: _____ E-mail: <u>pizzalabe@hotmail.com</u>	Architect's Name: _____ Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____
Contractor's Name: <u>same</u> Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____	Agent's Name: _____ Address: _____ City: _____ State: _____ Zip: _____ Telephone: _____ Fax: _____ E-mail: _____

TYPE OF IMPROVEMENT			
☐ Alteration (change to exterior)	☐ New Building	☐ Addition	☐ Accessory Structure
☐ New Construction	☐ Re-Roofing	☐ Wood Repair	☐ Exterior Painting
☐ General Maintenance	☐ Siding	Other _____	☐ Fencing
☒ Other <u>demolition</u>	☐ Awning	☐ Sign	
Estimated Cost of Work: \$ <u>1000</u>			

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ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>7/28/12</u> Project Completion Date (anticipated): _____			
☐ ALTERATION	☐ Front	☐ Side(s)	☐ Rear
☐ ADDITION	☐ Front	☐ Side(s)	☐ Rear
☐ NEW CONSTRUCTION	☐ Residential		☐ Other _____
☐ ROOF	☐ New	☐ Re-roofing	
	☐ Front	☐ Side(s)	☐ Rear
☐ GARAGE	☐ New	☐ Rehabilitation	
	☐ Front	☐ Side(s)	☐ Rear
☐ FENCE/GATE	☐ New	☐ Replacement	
	☐ Front	☐ Side(s)	☐ Rear
Material _____ Style/type _____ Dimensions _____			
☐ WINDOWS	☐ STORM WINDOWS	☐ DOORS	☐ STORM DOORS
☐ Restoration		☐ Replacement	☐ New
☐ Front		☐ Side(s)	☐ Rear
Material _____ Style/type _____			
☐ SIGN/AWNING	☐ New	☐ Restoration	☐ Replacement
Material _____ Style/type _____ Dimensions _____			
☒ OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

asking for permission to return the lot to original state of nature. In renovating 2 fremont St. the structure proved in such disrepair that it was really uninhabitable, as I removed the rotting wood and 1950's addition (Okayed by Kevin & Rieth) it became apparent that what was left was not contributing historically. I'm asking for permission to remove the remaining 3 walls and foundation

Page 2 of 5
Adopted June 14, 2006
Tedd Snedeker

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

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Fax (605) 578-2084

DEADWOOD

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Deadwood, South Dakota 57732

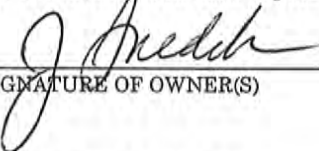
DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

SIGNATURES

I HEREBY CERTIFY that I understand this application will not be accepted and processed until all the requested information has been supplied. I realize that drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand that this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand that approval is issued for proposed work that is in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 8/28/14
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office and the City Clerk. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the enclosed criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

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Deadwood, South Dakota 57732

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FOR OFFICE USE ONLY:

Please check and initial items as they are completed.

Case No.: _____ Date of Filing: _____

- ☐ Certificate of Appropriateness
- ☐ Project Approval
- ☐ Sign Application

Property Designation:

- ☐ Contributing
- ☐ Non-contributing

Historic Overlay District:

- | | | |
|--|---|--|
| ☐ 1. Pluma | ☐ 5. McGovern Hill | ☐ 9A. Large's Gulch |
| ☐ 2. Peck's Garden | ☐ 6. Ingleside | ☐ 9B. Spruce Gulch |
| ☐ 3. Cleveland | ☐ 7. Upper Main Street | ☐ 10. Fountain City |
| ☐ 4. Deadwood | ☐ 8A. City Creek | ☐ 11. 1 st Ward – Industrial |
| ☐ A. Deadwood City | ☐ 8B. Forest Hill | ☐ 12. Pinecrest |
| ☐ B. South Deadwood | ☐ 8C. Highland Park | ☐ 13. Hillside Environs |
| ☐ C. Chinatown | Addition | |
| ☐ D. Elizabeth Town | | |

Application complete

Project Documents submitted (check all that apply)

- ☐ Photographs of property and/or adjacent properties
- ☐ Drawings and/or architectural renderings
- ☐ Materials and/or color samples
- ☐ Other

Staff Preparation

Initials _____ Date below _____

- | | | |
|---|-------|--|
| ☐ Site Visit | _____ | ____/____/____ |
| ☐ Project visible from right-of-way? | _____ | ☐ Yes ☐ No |
| ☐ Logged into HPC Agenda | _____ | ____/____/____ |
| ☐ Staff Report (research) | _____ | ____/____/____ |
| ☐ Packet to HPC Members | _____ | ____/____/____ |

Post Meeting Documentation

Initials _____ Date below _____

- | | | | |
|--|---------------------------------|-------|----------------|
| ☐ Approval | ☐ Denial | _____ | ____/____/____ |
| ☐ Property owner notification | _____ | _____ | ____/____/____ |

Building & Zoning Department (if applicable)

Initials _____ Date below _____

- | | | |
|--|-------|----------------|
| ☐ Building Permit Application | _____ | ____/____/____ |
| ☐ Setback(s) checked by P & Z | _____ | ____/____/____ |
| ☐ Detailed plans reviewed | _____ | ____/____/____ |
| ☐ Building Permit Issued | _____ | ____/____/____ |
| ☐ Fee collected (if applicable) | _____ | ____/____/____ |
| ☐ Setback(s) reviewed | _____ | ____/____/____ |

Filed on ____ / ____ / ____

Date: September 5, 2014

Case No. 14058

Address: 3 Pearl Street

Staff Report

The applicant has submitted an application for Project Approval for work at 3 Pearl Street a contributing structure located in the Highland Park Addition Planning Unit in the City of Deadwood.

Applicant: Kevin Oberembt & Brenda Tamillo
Owner: Same
Constructed: c. 1890

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource: This resource was moved from 384 Main Street to 3 Pearl Street on July 10, 2003. Due to its historic and architectural significance, according to the South Dakota State Historic Preservation Office this building remains a contributing resource in the Deadwood National Historic Landmark District despite its relocation.

2. Architectural design of the resource and proposed alterations: The applicant requests permission to start Phase Two of project which includes replacing 3 front windows due to rot and breakage; restoring the front door as well as 7 windows; and add 10 window storms at 3 Pearl Street as submitted.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion: The new owners are starting Phase Two which involves replacing front windows; restoring the front door as well as several windows; and adding storms to each window. The rehabilitation of this resource has dramatically improved this property.

The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



Motions available for commission action:

A: If you, as a commissioner, have determined the Project **DOES NOT** Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

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Fax (605) 578-2084

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

14058
DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

City of Deadwood Application for ☒ Project Approval or ☐ Certificate of Appropriateness

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This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 3 Pearl St

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other

Owner's Name: Brenda Tamillo & Kevin Oberencht
Address: 3 Pearl St
City: Dwd State: SD Zip: 57732
Telephone: _____ Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|--------------------------------------|--|
| ☐ Alteration (change to exterior) | ☐ New Building | ☐ Addition | ☐ Accessory Structure |
| ☐ New Construction | ☐ Re-Roofing | ☐ Wood Repair | ☐ Exterior Painting |
| ☐ General Maintenance | ☐ Siding | Other _____ | ☐ Fencing |
| ☒ Other <u>Windows</u> | ☐ Awning | ☐ Sign | |

Estimated Cost of Work: \$ _____

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ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
☐ ALTERATION	☐ Front	☐ Side(s)	☐ Rear
☐ ADDITION	☐ Front	☐ Side(s)	☐ Rear
☐ NEW CONSTRUCTION	☐ Residential	☐ Other _____	
☐ ROOF	☐ New	☐ Re-roofing	
	☐ Front	☐ Side(s)	☐ Rear
☐ GARAGE	☐ New	☐ Rehabilitation	
	☐ Front	☐ Side(s)	☐ Rear
☐ FENCE/GATE	☐ New	☐ Replacement	
	☐ Front	☐ Side(s)	☐ Rear
Material _____ Style/type _____ Dimensions _____			
☒ WINDOWS	☐ STORM WINDOWS	☐ DOORS	☐ STORM DOORS
	☒ Restoration	☒ Replacement	☐ New
	☒ Front	☒ Side(s)	☐ Rear
Material <u>Glass</u> Style/type <u>Wood</u>			
☐ SIGN/AWNING	☐ New	☐ Restoration	☐ Replacement
Material _____ Style/type _____ Dimensions _____			
☐ OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

(2nd phase)
3 Front windows replaced due to rot & breakage.
Front door restoration
7 windows restored & maintained,
10 window screens (2nd phase)

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☐ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- ☐ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☐ Exterior material description.
- ☐ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☐ Photograph of existing conditions from all elevations.
- ☐ Color samples and placement on the structure.
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.

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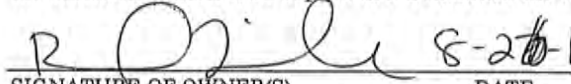
DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

SIGNATURES

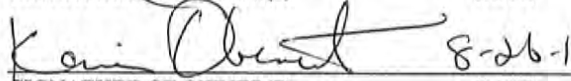
I HEREBY CERTIFY that I understand this application will not be accepted and processed until all the requested information has been supplied. I realize that drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand that this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand that approval is issued for proposed work that is in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 8-26-14
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

 8-26-14
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office and the City Clerk. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the enclosed criteria checklist as a guide to completing the application.

Incomplete applications cannot be reviewed and will be returned to you for more information.

All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084

DEADWOOD

"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

DEADWOOD CITY HALL
102 Sherman Street
Telephone (605) 578-2600

FOR OFFICE USE ONLY:

Please check and initial items as they are completed.

Case No.: _____ Date of Filing: _____

- ☐ Certificate of Appropriateness
- ☐ Project Approval
- ☐ Sign Application

Property Designation: _____

- ☐ Contributing
- ☐ Non-contributing

Historic Overlay District: _____

- | | | |
|--|---|--|
| ☐ 1. Pluma | ☐ 5. McGovern Hill | ☐ 9A. Large's Gulch |
| ☐ 2. Peck's Garden | ☐ 6. Ingleside | ☐ 9B. Spruce Gulch |
| ☐ 3. Cleveland | ☐ 7. Upper Main Street | ☐ 10. Fountain City |
| ☐ 4. Deadwood | ☐ 8A. City Creek | ☐ 11. 1 st Ward – Industrial |
| ☐ A. Deadwood City | ☐ 8B. Forest Hill | ☐ 12. Pinecrest |
| ☐ B. South Deadwood | ☐ 8C. Highland Park | ☐ 13. Hillside Environs |
| ☐ C. Chinatown | Addition | |
| ☐ D. Elizabeth Town | | |

Application complete _____

Project Documents submitted (check all that apply)

- ☐ Photographs of property and/or adjacent properties
- ☐ Drawings and/or architectural renderings
- ☐ Materials and/or color samples
- ☐ Other

Staff Preparation _____ Initials _____ Date below _____

- | | | |
|---|-------|--|
| ☐ Site Visit | _____ | ____/____/____ |
| ☐ Project visible from right-of-way? | _____ | ☐ Yes ☐ No |
| ☐ Logged into HPC Agenda | _____ | ____/____/____ |
| ☐ Staff Report (research) | _____ | ____/____/____ |
| ☐ Packet to HPC Members | _____ | ____/____/____ |

Post Meeting Documentation _____ Initials _____ Date below _____

- | | | | |
|--|---------------------------------|-------|----------------|
| ☐ Approval | ☐ Denial | _____ | ____/____/____ |
| ☐ Property owner notification | _____ | _____ | ____/____/____ |

Building & Zoning Department (if applicable) _____ Initials _____ Date below _____

- | | | |
|--|-------|----------------|
| ☐ Building Permit Application | _____ | ____/____/____ |
| ☐ Setback(s) checked by P & Z | _____ | ____/____/____ |
| ☐ Detailed plans reviewed | _____ | ____/____/____ |
| ☐ Building Permit Issued | _____ | ____/____/____ |
| ☐ Fee collected (if applicable) | _____ | ____/____/____ |
| ☐ Setback(s) reviewed | _____ | ____/____/____ |

Filed on ____/____/____