

DEADWOOD HISTORIC PRESERVATION COMMISSION

Wednesday, September 12, 2018 ~ 5:00 p.m.

City Hall, 108 Sherman Street, Deadwood, South Dakota

1. Call meeting to Order
2. Approval of HPC Meeting Minutes
 - a. August 22, 2018 Regular Meeting
3. Voucher Approval
4. HP Programs and Revolving Loan Program
 - a. Grant Voucher Approval
 - b. HP Grant Applications – **Exhibit A**
 - i. David Herdt – 97 Forest Avenue – Foundation Program
 - ii. Francis & Eileen Iverson – 75 Denver Avenue – Elderly Residents Program
 - iii. Gary & Dee Herdt – 15 Madison Street – Wood Windows & Doors Program
 - iv. Jo Roebuck-Person – 36 Lincoln Avenue – Wood Windows & Doors Program
 - v. Kathleen Lane–53 Forest Avenue–Elderly/Foundation/Siding/Wood Windows & Doors Programs
 - c. HP Grant Extensions – **Exhibit B**
 - i. Brad Peterson/Shirlene Joseph – 766 Main – Foundation Program
 - ii. Amy Gorzalka – 50 Van Buren – Wood Windows & Doors Program
 - iii. Tom McNary – 14 Van Buren – Wood Windows & Doors Program
 - iv. Shanna Knox – 83 Charles – Wood Windows & Doors Program
 - d. Revolving Loan Program Voucher Approval
 - e. Revolving Loan – Loan Requests – **Exhibit C**
 - i. David Swaney – 37 Lee Street – Loan Refinance Request
 - ii. Travis Floyd – 81 Stewart – RLF Life Safety and preservation Loan Requests
5. Old or General Business
 - a. Main Street Initiative Update
 - b. PA 180101 – Adrian & Annette Haines – 65 Forest Avenue – Replace Roof – Continued – **Exhibit D**
 - c. Donation #2018.04/2018.09 Black Hills Mining Museum Collection – **Exhibit E**
 - d. Appraisal of Deadwood Diorama – Discussion Only – **Exhibit F**
 - e. Deadwood Comprehensive Plan – **Exhibit G**
6. New Matters before the Deadwood Historic District Commission
 - a. COA 180292 – Lead-Deadwood Schools – 716 Main Street – Exterior Work – **Exhibit H**
7. New Matters before the Deadwood Historic Preservation Commission
 - a. PA 180265 – David Herdt – 97 Forest – Repair Foundation –**Exhibit I**
 - b. PA180267–Francis & Eileen Iverson-75 Denver–Repair/Replace Rafters & Rebuild Exterior Stairs–**Exhibit J**
 - c. PA 180268 – Gary & Dee Herdt – 15 Madison – Repair/Replace Windows, Storms & Front Door – **Exhibit K**
 - d. PA 180273 – Mike Gustafson – 270 Main – Construct a Steel Storage Shed – **Exhibit L**
 - e. PA 180275 – Jim Otteson – 786 Main – Re-Roof and Paint – **Exhibit M**
 - f. PA 180276 – Jo Roebuck-Pearson–36 Lincoln– Replace Roof, Windows/Storms/Storm Door – **Exhibit N**
 - g. PA 180284 – Gene Hunter – 38 Van Buren – Replace Siding – **Exhibit O**
 - h. PA 180278 – Todd and Jill Weber – 562 Williams – Re-Roof – **Exhibit P**
 - i. PA 180290 – Kathleen Lane – 53 Forest – Repair Deck and Steps, Remove Siding & Paint – **Exhibit Q**
 - j. PA 180291 – Jeffery Lawler – 25 Jackson – Install Brick Chimney for Gas Fireplace – **Exhibit R**
8. Items from Citizens not on agenda (*Items considered but no action will be taken at this time.*)
9. Staff Report (*Items considered but no action will be taken at this time.*)
10. Committee Reports (*Items will be considered but no action will be taken at this time.*)
11. Other Business

Adjournment -- **All Applications **MUST** arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next Historic Preservation Commission Meeting.*

DEADWOOD HISTORIC PRESERVATION COMMISSION

Wednesday, August 22, 2018 ~ 5:00 p.m.

City Hall, 108 Sherman Street, Deadwood, South Dakota

1. Call meeting to Order
2. Approval of HPC Meeting Minutes
 - a. August 8, 2018 Regular Meeting
3. Voucher Approval
4. HP Programs and Revolving Loan Program
 - a. Grant Voucher Approval
 - b. HP Grant Applications – **Exhibit A**
 - i. Jeanne & David Zurey – 23 McKinley Street – Elderly Resident Program
 - ii. Glenn Fasnacht – 74 Van Buren Avenue – Siding Program
 - iii. Glenn Fasnacht – 74 Van Buren Avenue – Foundation Program
 - iv. Glenn Fasnacht – 74 Van Buren Avenue – Retaining Wall Program
 - v. Glenn Fasnacht – 74 Van Buren Avenue – Wood Windows & Doors Program
 - vi. Kracht Family Trust – 4 Lincoln Avenue – Elderly Resident Program
 - vii. Kracht Family Trust – 4 Lincoln Avenue – Siding Program
 - c. HP Grant Extensions – **Exhibit B**
 - i. Dave Akrop – 98 Charles – Elderly Resident Program
 - ii. Roger & Ann Ochse – 35 Madison – Elderly Resident Program
 - iii. Shirlene Joseph – 771 Main – Foundation Program
 - iv. Sylvia Trentz – 57 Lincoln – Foundation Program
 - v. Michael Johnson – 8 Van Buren – Wood Windows & Doors/Siding/ Foundation/ Elderly Programs
 - vi. Ken & Nancy Motzko – 51 Pleasant – Wood Windows & Doors and Siding Programs
 - vii. Margaret Sulentic – 23 Van Buren – Elderly Resident and Foundation Programs
 - viii. Iver & Monica Gibbs – 850 Main – Wood Windows & Doors Program
 - d. Revolving Loan Program Voucher Approval
 - e. Revolving Loan – Loan Requests – **Exhibit C**
 - i. Lance Bobolz – 84 Van Buren – Windows Loan Request
 - ii. Eugene Hunter – 38 Van Buren – Loan Extension Request
5. Old or General Business
 - a. Main Street Initiative update
 - b. PA 180101 – Adrian & Annette Haines – 65 Forest Avenue – Replace Roof – Continued – **Exhibit D**
 - c. Dell Rapids Society for Historic Preservation–Emergency Outside of Deadwood Grant Request – **Exhibit E**
 - d. South Dakota Historical Society Press – Publication Fund Report – **Exhibit F**
6. New Matters before the Deadwood Historic District Commission
7. New Matters before the Deadwood Historic Preservation Commission
 - a. PA180192–Glenn Fasnacht–74 Van Buren–Repair Foundation, Repair/Replace Siding/Windows–**Exhibit G**
 - b. PA180193 –William Beshera–166 Charles–Repair/Replace Windows/Foundation/Siding–**Exhibit H**
 - c. PA 180201 – Toby Edstrom – 867 Main – Replace Sun Room – **Exhibit I**
 - d. PA 180203 – Kracht Family Trust – 4 Lincoln – Remove Siding and Repair Stucco – **Exhibit J**
8. Items from Citizens not on agenda (*Items considered but no action will be taken at this time.*)
9. Staff Report (*Items considered but no action will be taken at this time.*)
10. Committee Reports (*Items will be considered but no action will be taken at this time.*)
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Adjournment -- **All Applications **MUST** arrive at the City of Deadwood Historic Preservation Office by 5:00 p.m. MST on the 1st or 3rd Wednesday of every month in order to be considered at the next Historic Preservation Commission Meeting.*

City of Deadwood
HISTORIC PRESERVATION COMMISSION
Wednesday, August 22, 2018

Present Historic Preservation Commission: Michael Johnson, Lyman Toews, Beverly Posey, Ann Ochse, Robin Carmody and Thomas Blair

Absent: Dale Berg

Present City Commission:

Present Staff: Kevin Kuchenbecker, Historic Preservation Officer and Bonny Anfinson, Program Coordinator was present.

All motions passed unanimously unless otherwise stated.

A quorum present, Chairman Michael Johnson called the Deadwood Historic Preservation Commission meeting to order Wednesday, August 22, 2018 at 5:00 p.m. in the Commission Room located in City Hall at 108 Sherman Street in Deadwood, SD.

Approval of HPC Minutes:

August 8, 2018 Regular Meeting

It was moved by Mr. Blair and seconded by Ms. Posey to approve the HPC minutes of Wednesday, August 8, 2018. Aye – All. Motion carried.

Voucher Approval:

It was moved by Mr. Toews and seconded by Ms. Posey to approve the HP Operating Account in the amount of \$79,632.40. Aye – All. Motion carried.

Revolving Loan Fund and Historic Preservation Programs:

HP Program Grant Funds

It was moved by Mr. Toews and seconded by Ms. Posey to approve HP Grant Fund disbursements in the amount of \$16,365.83, based on information as presented. Aye - All. Motion carried.

HP Grant Applications – Exhibit A

Mr. Kuchenbecker stated the following applicants have applied for HP Grant Programs. Jeanne & David Zurey, 23 McKinley Street, Elderly Resident Program; Glenn Fasnacht, 74 Van Buren Avenue, Siding, Foundation, Retaining Wall and Wood Windows & Doors Program; Kracht Family Trust, 4 Lincoln Avenue, Elderly Resident & Siding Programs. All applicants meet the guidelines therefore staff recommends approval. ***It was moved by Mr. Blair and seconded by Ms. Posey to approve the grant applications for Jeanne & David Zurey, 23 McKinley Street, Elderly Resident Program; Glenn Fasnacht, 74 Van Buren Avenue, Siding, Foundation, Retaining Wall and Wood Windows & Doors Program; Kracht Family Trust, 4 Lincoln Avenue, Elderly Resident & Siding Programs. Aye - All. Motion carried.***

HP Grant Extensions – Exhibit B

- i. Dave Akrop – 98 Charles – Elderly Resident Program
- ii. Roger & Ann Ochse – 35 Madison – Elderly Resident Program
- iii. Shirlene Joseph – 771 Main – Foundation Program
- iv. Sylvia Trentz – 57 Lincoln – Foundation Program
- v. Michael Johnson – 8 Van Buren – Wood Windows & Doors/Siding/ Foundation/ Elderly Programs
- vi. Ken & Nancy Motzko – 51 Pleasant – Wood Windows & Doors and Siding Programs
- vii. Margaret Sulentic – 23 Van Buren – Elderly Resident and Foundation Programs
- viii. Iver & Monica Gibbs – 850 Main – Wood Windows & Doors Program

Mr. Kuchenbecker stated these applicants are requesting extensions of their grants. ***It was moved by Mr. Toews and seconded by Ms. Posey to remove and vote on the extension requests for Michael Johnson and Roger & Ann Ochse separately. Aye – All. Motion carried.***

It was moved by Mr. Toews and seconded by Ms. Posey to approve the grant extension requests for Dave Akrop, 98 Charles, Elderly Resident Program; Shirlene Joseph, 771 Main, Foundation Program; Sylvia Trentz, 57 Lincoln, Foundation Program; Ken & Nancy Motzko, 51 Pleasant, Wood Windows & Doors; Margaret Sulentic, 23 Van Buren, Elderly Resident & Foundation Programs; Iver & Monica Gibbs, 850 Main, Windows and Doors Program. Aye – All. Motion carried.

It was moved by Mr. Toews and seconded by Ms. Posey to approve the grant extension requests for Roger & Ann Ochse, 35 Madison, Elderly Resident Program and Michael Johnson, 8 Van Buren, Windows, Siding, Foundation and Elderly Resident Programs. Ann Ochse and Michael Johnson Abstained. Aye – All. Motion carried.

Revolving Loan Program Voucher Approval

It was moved by Mr. Toews and seconded by Ms. Posey to approve HP Revolving Loan Fund disbursements in the amount of \$180.00, based on information as presented. Aye - All. Motion carried.

Revolving Loan Program – Exhibit C

- i. Lance Bobolz – 84 Van Buren – Windows Loan Request
- ii. Eugene Hunter – 38 Van Buren – Loan Extension Request

It was moved by Ms. Posey and seconded by Ms. Ochse to approve the loan requests for Lance Bobolz, 84 Van Buren, windows loan request and Eugene Hunter, 38 Van Buren, Loan Extension. Aye – All. Motion carried.

Old or General Business:

Main Street Initiative Update – Kevin Kuchenbecker – No Exhibit

Mr. Kuchenbecker stated the City Commission approved the hiring of a Construction Manager at Risk for the Main Street Square Project. An RFP has been issued with a deadline of September 22 or 28. The Mayor signed the agreement with the State for the \$300,000. The Promotion Committee is planning a Harvest Jubilee, Little Black Dress, Frisky Whisky and Tree Lighting events. The Economic Restructuring Committee is working on business recruitment.

PA 180101 – Adrian & Annette Hoines – 65 Forest Avenue – Replace Roof– Exhibit D–Continued from 8-8-18 Meeting

Mr. Kuchenbecker stated the applicant is not here to discuss the issues of last meeting. A letter was sent to them letting them know about the meeting. Staff recommends continuing until the next meeting. ***It was moved by Mr. Toews and seconded by Ms. Posey to continue this item until the next meeting. Aye – All. Motion carried.***

Dell Rapids Society for Historic Preservation – Emergency Outside of Deadwood Grant Request – Exhibit E

Mr. Kuchenbecker stated the Historic Preservation Commission received an emergency Outside of Deadwood Grant request from Dell Rapids for an emergency repair to the roof of the Dell Rapids Museum. During a storm the existing rubber roof was blown off the north parapet wall. The damage revealed a badly deteriorated parapet wall that is allowing water to enter the building at a rapid rate. The water has caused interior damage to the walls. The cost to repair the roof is \$31,410 which the applicants insurance will cover. However, the tuck pointing is not covered and the cost of repairs is \$19,688. The request is for \$10,000 to pay for half of the tuck pointing expenses. The Projects Committee has reviewed this request and recommends approval. ***It was moved by Mr. Blair and seconded by Ms. Ochse to approve the Emergency Outside of Deadwood Grant request for Dell Rapids Society for Historic Preservation for repairs to the Dell Rapids Museum in the amount of \$10,000. Aye – All. Motion carried.***

South Dakota Historical Society Press – Publication Fund Report – Exhibit F

Mr. Kuchenbecker presented the yearly report from the South Dakota Historical Society Press. In 2000 they received funds to start a revolving loan fund for the publication of books containing history of South Dakota.

New Matters before the Deadwood Historic District Commission

New Matters before the Deadwood Historic Preservation Commission

PA180192–Glenn Fasnacht–74 Van Buren–Repair Foundation, Repair/Replace Siding/Windows–Exhibit G

Mr. Kuchenbecker stated the applicant has submitted an application for project approval for work at 74 Van Buren a non-contributing structure located in the Ingleside Planning Unit. The applicant is requesting permission to repair the foundation, replace siding and repair/replace windows and replace storm windows. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Ms. Posey and seconded by Mr. Toews based upon all the evidence presented, this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Aye - All. Motion Carried.***

PA180193 –William Beshera–166 Charles–Repair/Replace Windows/Foundation/Siding–Exhibit H

Mr. Kuchenbecker stated this is a contributing structure located in the Cleveland Planning Unit. The applicant is requesting permission to replace windows and storms, replace front door and storm door, repair/replace siding and paint, repair/replace foundation as needed, repair existing fence and add to it, repair/replace front and back landings, and replace back storm door. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Ms. Ochse and seconded by Ms. Posey based upon all the evidence presented, this project does not encroach upon, damage, or destroy any historic property included in the national register of historic***

places or the state register of historic places, and therefore move to grant a project approval. Aye - All. Motion Carried.

PA 180201– Toby Edstrom – 867 Main – Replace Sun Room – Exhibit I

Mr. Kuchenbecker stated this is a non-contributing structure located in the Upper Main Planning Unit. The applicant is requesting permission to remove aluminum and poly carbonate sun room and replace with wood frame construction 2x4 walls on existing concrete foundation. There will be casement windows and one door with a rolled roof. The proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. ***It was moved by Mr. Toews and seconded by Ms. Ochse based upon all the evidence presented, this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Aye - All. Motion Carried.***

PA 180203– Kracht Family Trust – Exhibit J

Mr. Kuchenbecker stated this is a contributing structure located in the Ingelside Planning Unit. The applicant is requesting permission to remove the inappropriate steel siding, repair the stucco underneath and paint. Based on this material, it is staff's opinion, the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. It would be nice if the two roofs match since they are twin houses. ***It was moved by Mr. Toews and seconded by Ms. Posey based upon all the evidence presented, this project does not encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval. Aye - All. Motion Carried.***

Ms. Ochse asked how a Family Trust can qualify as owner occupied for the grant programs. Mr. Kuchenbecker stated staff is directed to use the determination set by the County. If the property is listed as owner occupied then they will qualify for the grant programs. Staff will contact the city attorney for verification.

Items from Citizens not on Agenda

Rose Speirs with DHI invited the Historic Preservation Commission to the upcoming "A Deadwood History Big Thank You" event on September 12, 5:00 – 7:00 p.m. at the Adams Museum. Ms. Speirs also presented upcoming ads coming out in the ***True West*** Magazine and the ***Deadwood Now*** Publication.

Staff Report: *(items will be considered but no action will be taken at this time.)*

Mr. Kuchenbecker stated in the last six weeks the city has issued 105 building permits for roof repairs. Mary Jo Nelson will be retiring in October. Last weekend the Shriners were in town and held a big parade. Also last week the Wagon Train came through town and they were being filmed by RFD TV. The Travel Channel will be in town August 29 and 30 for filming of Deadwood's legends. The FY2017 Gaming Money Distribution Flowchart was handed out for review. The SHPO Budget Presentation will be September 7 in Pierre. Ms. Ochse, Mr. Johnson and Mr. Toews plan on attending.

Ms. Anfinson stated Mayor Turbiville attended the ribbon cutting of the Art B. Thomas Carousel in Madison, SD and presented a plaque. There were about 150 people in attendance. They were very appreciative of the grant funds they received.

Committee Reports:

Ms. Carmody stated she has attended her two committee meetings.

Ms. Ochse expressed concern on whether Mr. Gibbens will finish his project on Adams Street. Ms. Anfinson stated last time she spoke with him he was ordering windows. Staff will check with Mr. Gibbens to see where he is at on his project and on the Raspberry House neglect issue.

Mr. Blair stated he did two check and plaque presentations in Groton. It was a rewarding experience.

The Historic Preservation Commission Meeting adjourned at 5:51 p.m.

ATTEST:

Chairman, Historic Preservation Commission
Bonny Anfinson, Historic Preservation Office/Recording Secretary

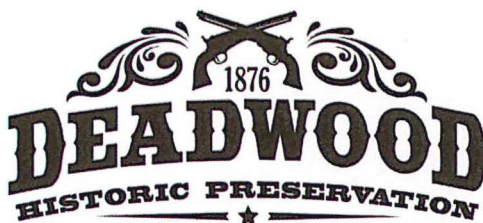


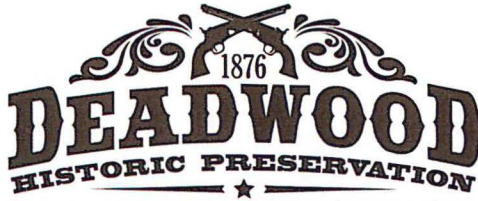
EXHIBIT A

MEMORANDUM

Date: September 7, 2018
To: Deadwood Historic Preservation Commission
From: Kevin Kuchenbecker, Historic Preservation Officer
Bonny Anfinson, Program Coordinator
Re: Historic Preservation Program Applications

The following Historic Preservation Program applications were received by this office. Staff's recommendation follows the program request.

- David Herdt – 97 Forest Avenue – Foundation Program
Staff has determined the project meets the criteria for the Foundation Program. Staff will coordinate with the applicant during the proposed project.
- Francis & Eileen Iverson – 75 Denver Avenue – Elderly Residents Program
Staff has determined the applicant as well as the project meets the criteria for the Elderly Residents Program. Staff will coordinate with the applicant during the proposed project.
- Gary & Dee Herdt – 15 Madison Street – Wood Windows & Doors Program
Staff has determined the project meets the criteria for the Wood Windows & Doors Program. Staff will coordinate with the applicant during the proposed project.
- Jo Roebuck-Pearson – 36 Lincoln Avenue - Wood Windows & Doors Program
Staff has determined the project meets the criteria for the Wood Windows & Doors Program. Staff will coordinate with the applicant during the proposed project.
- Kathleen Lane – 53 Forest Avenue – Elderly Residents, Foundation, Siding and Wood Windows & Doors Programs
Staff has determined the applicant as well as the project meets the criteria for the Elderly Resident, Foundation, Siding and Wood Windows & Doors Programs and Siding Program. Staff will coordinate with the applicant during the proposed project.



Foundation Program Application

Please read the attached Policy Guidelines and provide the requested information.

1. Address of Property:

97 Forest Ave.

2. Applicant's name & mailing address:

David Herdt
97 Forest Ave
Deadwood S.D. 57732

Telephone: (307) 331-1667

E-mail daveherdt@gmail.com

3. Owner of property – (if different from applicant):

Telephone: (____) ____ - ____

E-mail _____

For Office Use Only:

☒ Owner Occupied

☐ Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 9/6/18 Initials: _____

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

5. Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: David Herdt

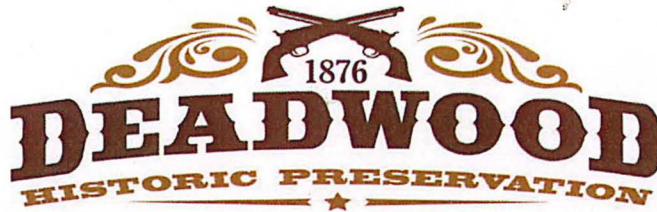
Date submitted: 8/27/18

Owner's signature: _____

Date submitted: ____/____/____

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood
Planning, Zoning & Historic Preservation
108 Sherman Street
Deadwood, SD 57732
605-578-2082



Elderly Residents Program Application

Please read the attached Policy Guidelines and provide the requested information.

Address of Property:

75 Denver Ave

Applicant/Owner name & mailing address:

Francis & Eileen Iverson

75 Denver Ave.

Deadwood S.D. 57732

Telephone: (605) 920-3842

E-mail Fiverson@spe.midea.net

What year were you born? 5-28-1949

Applying for: ☒ Grant or ☐ Loan

Requested Grant Amount:

\$ 10,000

Estimated Total Cost for Entire Project:

\$ _____

For Office Use Only:

☒ Owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 9/6/18

Initials: BA

Assessed Valuation \$ _____

Description of work to be done Repair roof rafters and roof coverings.
Rebuild exterior stairway to house from street.
Wood stairs are presently rotted.

Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance of a grant.

Applicant's signature: Francis Iverson

Date submitted: 8/17/2018

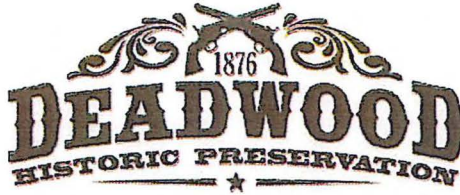
Owner's signature: Francis Iverson

Date submitted: 8/17/2018

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood
Planning, Zoning & Historic Preservation
108 Sherman Street
Deadwood, SD 57732
605-578-2082

Revised 6/7/18



Wood Windows and Doors Application

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.

1. Address of Property:

15 Madison St.

2. Applicant/Owner name & mailing address:

Gary Herdt/Dee Herdt
15 Madison St.
Deadwood, SD 57732

Telephone: (307) 575-2686

E-mail backinwyo@gmail.com

3. Applying for: ☒ Grant or ☐ Loan

Requested Grant or Loan Amount:

\$ 20,000

Estimated Total Cost for Entire Project:

\$ 20,000

For Office Use Only:

☒ Owner Occupied

☐ Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 9/6/18 Initials: BA

Assessed Valuation \$ _____

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: Gary Herdt

Date submitted: 8/17/18

Owner's signature: Gary Herdt

Date submitted: 8/17/18

Please complete Wood Window and Doors Worksheet on page 2 of this application

Wood Windows and Doors Worksheet

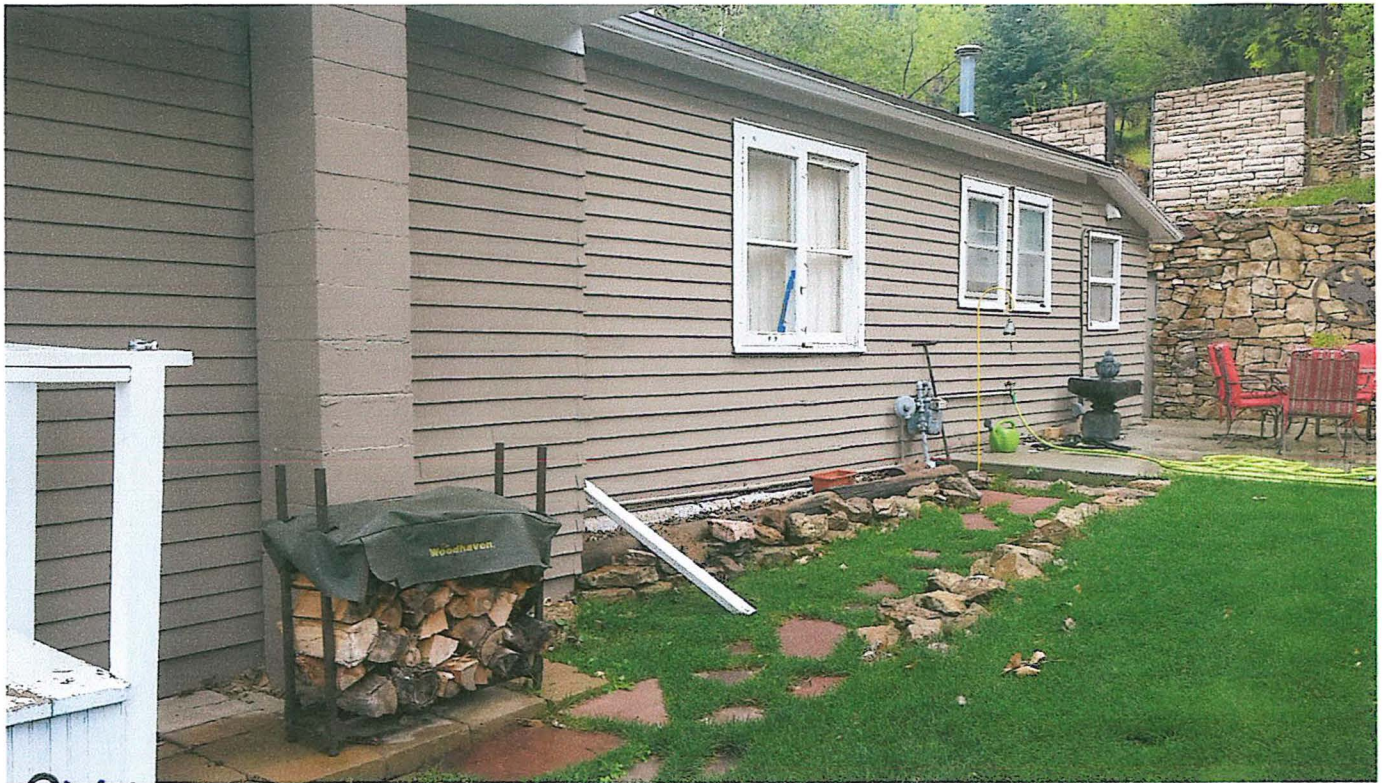
Please fill out below using numbers of windows, storm windows and doors.

Elevations	Repair or Replacement of Existing Window(s)	Installation of New Wood Storm and Screen	Replacement of Inappropriate Window(s)	Repair or Replacement of Existing Primary	Repair or Replacement of Other Exterior Wood Door(s)	Replacement Inappropriate of Existing Wood Door(s)
Front View	3	3				
Right Side View	5	5		1		
Left Side View	7	7				
Rear View	2	2				
Total Windows	17	17				
<div>Win</div> <div>Storm</div> <div>Door</div> 13600 5950 19550 600	Existing wood window(s) qualified for restoration are eligible for a forgivable loan or grant up to \$800 per window.	Window(s) qualified for the purchase and installation of approved wooden storm and screen windows <u>OR</u> qualified for restoration are eligible for a forgivable loan or grant up to \$350 per window.	Window(s) qualified for the purchase and installation of new wood windows are eligible for a forgivable loan or grant up to \$800 per window if existing window is beyond repair.	Primary wood entry door qualified for restoration is eligible for a forgivable loan or grant of \$400 <u>OR</u> for the removal of inappropriate primary door and installing an appropriate qualified door is eligible for a forgivable loan or grant of \$600.	Other exterior door(s) qualified for restoration are eligible for a forgivable loan or grant of \$200 per door <u>OR</u> for the removal of inappropriate door(s) and installing an appropriate qualified door(s) are eligible for a forgivable loan or grant of \$300 per door.	Primary door and additional exterior door(s) qualified for the purchase and installation of new wood door(s) are eligible for a forgivable loan or grant of \$100 per door if existing door is beyond repair.

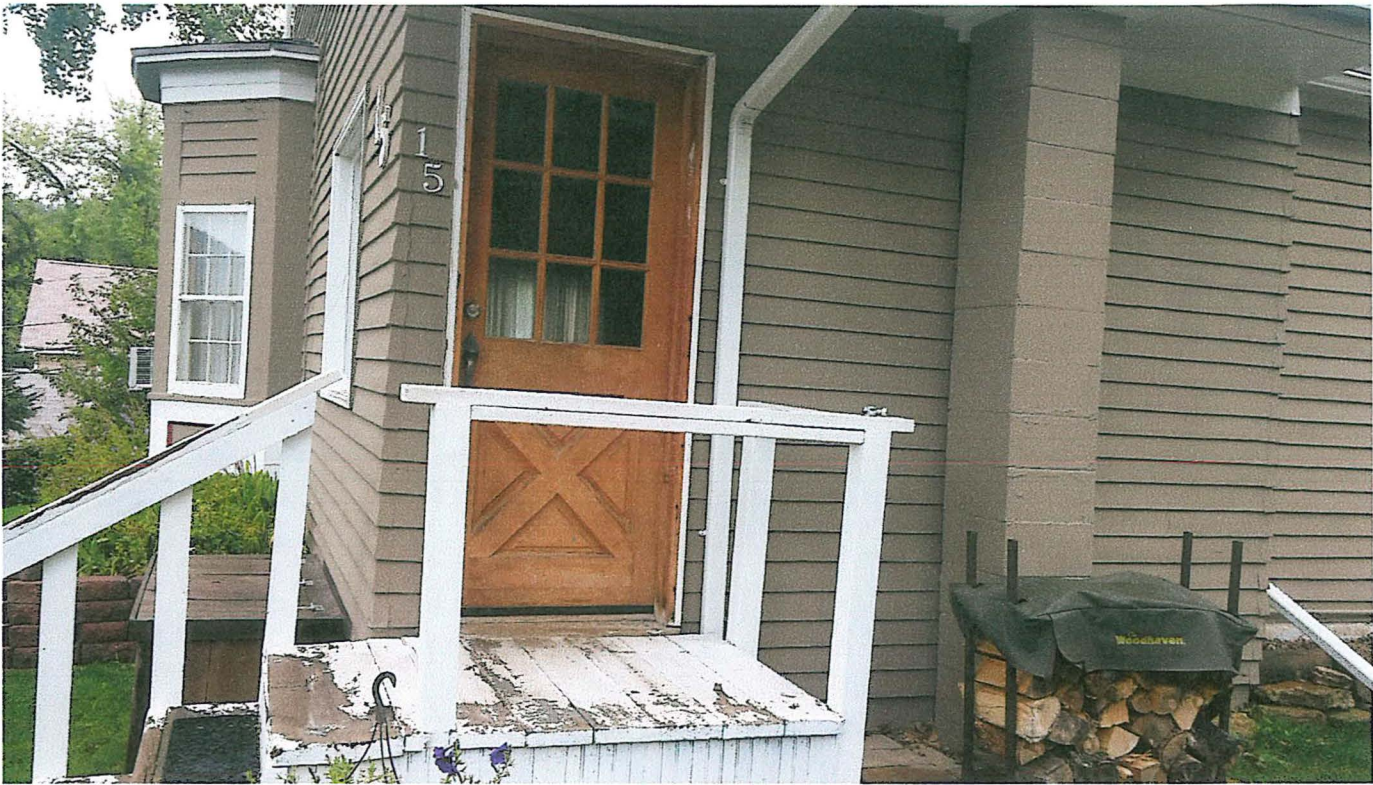
The forgivable loan or grant is available up to \$20,000.00 maximum.

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

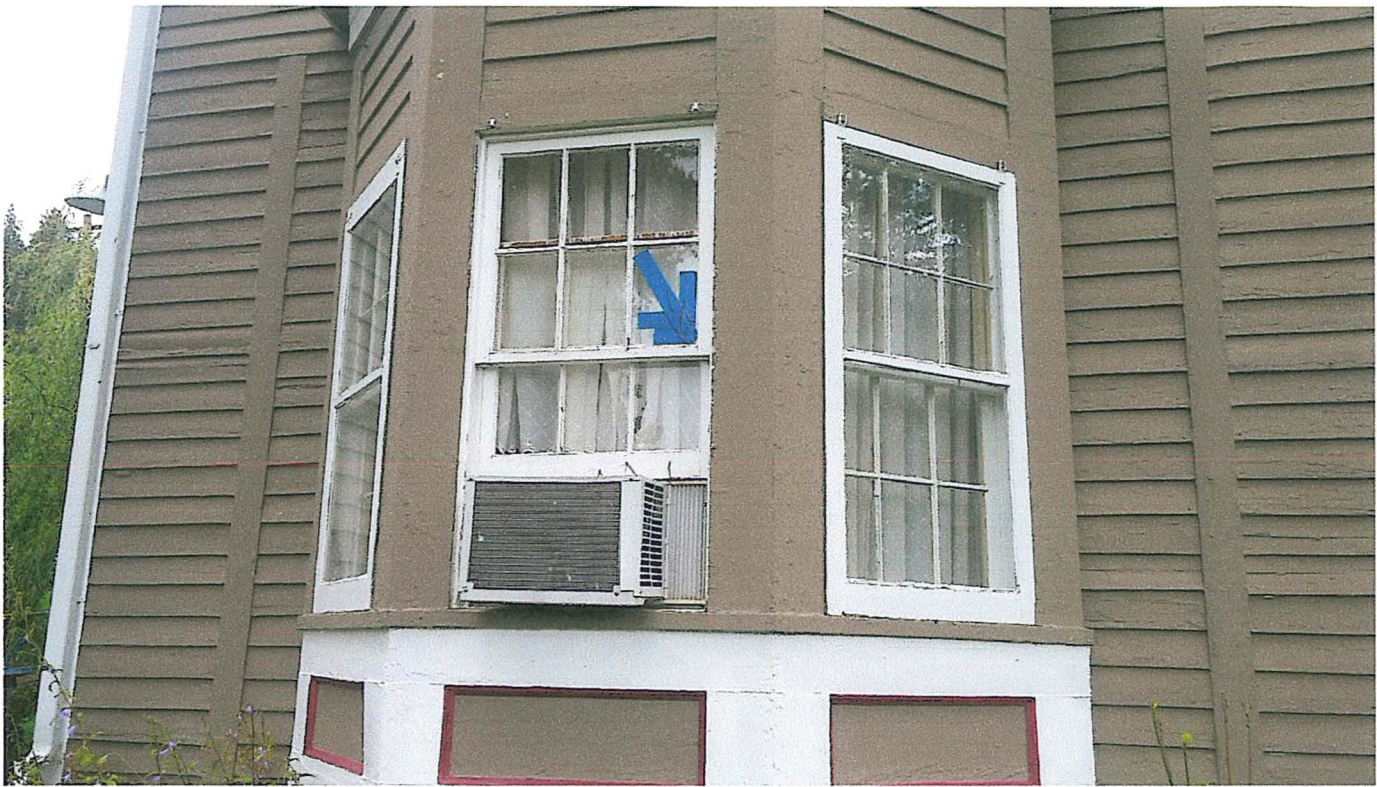
City of Deadwood
Planning, Zoning & Historic Preservation
108 Sherman Street
Deadwood, SD 57732
605-578-2082



right side
bedroom + bathroom



Door - right side



Front



Left side



Left + side



Left Side



BACK



Alside Supply Center-Rapid City

225A Kermit Lane

Rapid City

SD 57701

605-341-5088

Customer
QUOTATION

QUOTE EXPIRES

Quote Not
Certified

BILL TO:

SHIP TO:

Joe Batly

Phone:

Fax:

Phone:

Fax:

QUOTE NAME	PROJECT NAME	CUSTOMER PO#	DATE PRINTED
TwinCity/Hurte	TwinCity/Hurte		7/30/2018
QUOTED BY	Salesperson	Bid By	QUOTE NUMBER
Gerard Torno			34211

LineItem #	Description	Net Price	Quantity	Extended Price
------------	-------------	-----------	----------	----------------

100-1

1. \$995⁰⁰

RO:

60.5" X 58.5"

OA Frame Size

60" X 58"

BB Projection

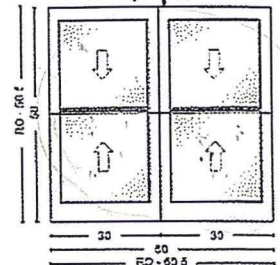
N/A

Comment/Room:

None Assigned

Complete Unit, Pine,
Wood, Double Hung, Operating / Operating, Product Code = Custom Config,
DW****, Unit Frame SqFt = 12.08333,
Sash Split = Even, Frame Width = 30, Frame Height = 58,
Primed Ext, Ntrl Int, ., Chestnut Bronze, With Fingerpulls, Taupe, Full, Enhanced
View Mesh Scr, ScreenColor = Bright White,
Insulated, LoE 366, Std Gls Spcr, Argon Filled, No Tint,
None,
Wood Exterior Casing/Brickmould = Casing Flat, Wood Flat Casing = 3.5, Sill Nose
Profile = Standard Profile, Jamb Wth = 4 9/16" Jamb Extn Applied,

Clr Opening Wth = 26.625, Clr Opening Hgt = 23.52637, Clr Opening Sq Ft =
4.349929,
Vertical, Factory, 0" thick, 58" length,
OA RO Wth = 60.5, OA RO Hgt = 58.5,
OA BKMD Wth = 65.625, OA BKMD Hgt = 60.9375 Total Frame Sq Ft = -1, Total
Weighted U-Value Contribution = -1



Bedroom

QUOTE NAME	PROJECT NAME	CUSTOMER PO#	DATE PRINTED
TwinCity/Hurte	TwinCity/Hurte		7/30/2018
QUOTED BY	Salesperson	Bid By	QUOTE NUMBER
Gerard Torno			34211

LineItem #	Description	Net Price	Quantity	Extended Price
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200-1

~~\$557.2~~ ~~\$1114.00~~

RO:

30.5" X 42.5"

OA Frame Size

30" X 42"

BB Projection

N/A

Comment/Room:

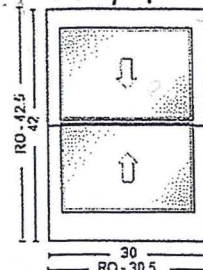
None Assigned

Complete Unit, Pine,
Wood, Double Hung, Operating, Product Code = DW****,
DW****, Unit Frame SqFt = 8.75,
Sash Split = Even, Frame Width = 30, Frame Height = 42,
Primed Ext, Ntrl Int, ., Chestnut Bronze, With Fingerpulls, Taupe, Full, Enhanced
View Mesh Scr, ScreenColor = Bright White,
Insulated, LoE 366, Std Gls Spcr, Argon Filled, No Tint,
None,
Wood Exterior Casing/Brickmould = Casing Flat, Wood Flat Casing = 3.5, Sill Nose
Profile = Standard Profile, Jamb Wth = 4 9/16", Jamb Extn Applied,

Clr Opening Wth = 26.625, Clr Opening Hgt = 15.52637, Clr Opening Sq Ft = 2.870762,

OA RO Wth = 30.5, OA RO Hgt = 42.5,

OA BKMD Wth = 35.625, OA BKMD Hgt = 44.9375 Total Frame Sq Ft = -1, Total
Weighted U-Value Contribution = -1



bath room

LineItem #	Description	Net Price	Quantity	Extended Price
------------	-------------	-----------	----------	----------------

300-1

~~\$535.00~~

RO:

34.5" X 40.5"

OA Frame Size

34" X 40"

BB Projection

N/A

Comment/Room:

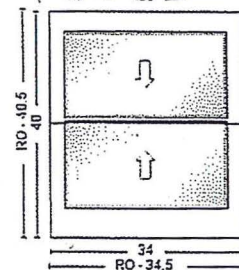
None Assigned

Complete Unit, Pine,
Wood, Double Hung, Operating, Product Code = DW****,
DW****, Unit Frame SqFt = 9.444445,
Sash Split = Even, Frame Width = 34, Frame Height = 40,
Primed Ext, Ntrl Int, ., Chestnut Bronze, With Fingerpulls, Taupe, Full, Enhanced
View Mesh Scr, ScreenColor = Bright White,
Insulated, LoE 366, Std Gls Spcr, Argon Filled, No Tint,
None,
Wood Exterior Casing/Brickmould = Casing Flat, Wood Flat Casing = 3.5, Sill Nose
Profile = Standard Profile, Jamb Wth = 4 9/16", Jamb Extn Applied,

Clr Opening Wth = 30.625, Clr Opening Hgt = 14.52637, Clr Opening Sq Ft = 3.089377,

OA RO Wth = 34.5, OA RO Hgt = 40.5,

OA BKMD Wth = 39.625, OA BKMD Hgt = 42.9375 Total Frame Sq Ft = -1, Total
Weighted U-Value Contribution = -1



bath room

~~\$2644.00~~

No Egress Information available.

options only.
Charcoal Fiberglass Mesh
Primed Pine Finish

Line #6	Mark Unit:	List Price:		
Qty: 2		Ext. List Price:	USD	\$189 ⁰⁰



Built around you.
Entered As: OM
FS 29 1/2" X 40 11/16"
Egress Information
No Egress Information available.

Configured Part: Combination for:
Wood Ultimate Double Hung
Outside Measurement 28" X 39"

Combination
Clad Color Surround

A valid color option must be selected before placing an order. Current pricing valid for standard color

options only.
Charcoal Fiberglass Mesh
Primed Pine Finish

\$378⁰⁰

storm
back

Line #7	Mark Unit:	List Price:		
Qty: 1		Ext. List Price:	USD	\$194 ⁰⁰



Built around you.
Entered As: OM
FS 33" X 38 15/16"
Egress Information
No Egress Information available.

Configured Part: Combination for:
Wood Ultimate Double Hung
Outside Measurement 31 1/2" X 37 1/4"

Combination
Clad Color Surround

A valid color option must be selected before placing an order. Current pricing valid for standard color

options only.
Charcoal Fiberglass Mesh
Primed Pine Finish

\$194⁰⁰

storm
back

Line #8	Mark Unit:	List Price:		
Qty: 2		Ext. List Price:	USD	\$366 ⁰⁰



Built around you.
Entered As: OM
FS 45 3/8" X 57 3/16"
Egress Information
No Egress Information available.

Configured Part: Combination for:
Wood Ultimate Double Hung Magnum
Outside Measurement 43 7/8" X 55 1/2"
#WIDTH TO BE 44 1/2"

Combination
Clad Color Surround

A valid color option must be selected before placing an order. Current pricing valid for standard color

options only.
Charcoal Fiberglass Mesh
Primed Pine Finish
Non system generated Pricing

\$732⁰⁰

back
porch

Project Subtotal List Price: USD \$3,446⁰⁰
0.000% Sales Tax: USD
Project Total List Price: USD

LINE ITEM QUOTES

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:	List Price:		
Qty: 1		Ext. List Price:	USD	\$209 ⁰⁰



Built around you.
Entered As: OM
FS 24" X 57 3/16"
Egress Information
No Egress Information available.

Configured Part: Combination for:
Wood Ultimate Double Hung
Outside Measurement 22 1/2" X 55 1/2"

Combination
Clad Color Surround
A valid color option must be selected before placing an order. Current pricing valid for standard color options only.
Charcoal Fiberglass Mesh
Primed Pine Finish

porch left side

Line #2	Mark Unit:	List Price:		
Qty: 4		Ext. List Price:	USD	\$218 ⁰⁰



Built around you.
Entered As: OM
FS 29 1/2" X 56 11/16"
Egress Information
No Egress Information available.

Configured Part: Combination for:
Wood Ultimate Double Hung
Outside Measurement 28" X 55"

Combination
Clad Color Surround
A valid color option must be selected before placing an order. Current pricing valid for standard color options only.
Charcoal Fiberglass Mesh
Primed Pine Finish

*\$872⁰⁰
Kitchen
dining*

Line #3	Mark Unit:	List Price:		
Qty: 2		Ext. List Price:	USD	\$202 ⁰⁰



Built around you.
Entered As: OM
FS 21 1/2" X 56 11/16"
Egress Information
No Egress information available.

Configured Part: Combination for:
Wood Ultimate Double Hung
Outside Measurement 20" X 55"

Combination
Clad Color Surround
A valid color option must be selected before placing an order. Current pricing valid for standard color options only.
Charcoal Fiberglass Mesh
Primed Pine Finish

*\$404⁰⁰
dining*

Line #4	Mark Unit:	List Price:		
Qty: 2		Ext. List Price:	USD	\$219 ⁰⁰



Built around you.
Entered As: OM
FS 30" X 56 3/16"
Egress Information
No Egress Information available.

Configured Part: Combination for:
Wood Ultimate Double Hung
Outside Measurement 28 1/2" X 54 1/2"

Combination
Clad Color Surround
A valid color option must be selected before placing an order. Current pricing valid for standard color options only.
Charcoal Fiberglass Mesh
Primed Pine Finish

*\$438⁰⁰
Front Bay*

Line #5	Mark Unit:	List Price:		
Qty: 1		Ext. List Price:	USD	\$219 ⁰⁰

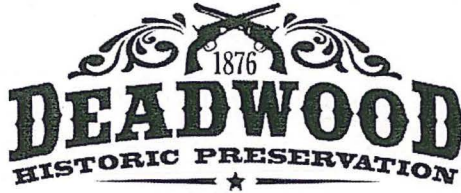


Built around you.
Entered As: OM
FS 29 1/2" X 56 3/16"
Egress information

Configured Part: Combination for:
Wood Ultimate Double Hung
Outside Measurement 28" X 54 1/2"

Combination
Clad Color Surround
A valid color option must be selected before placing an order. Current pricing valid for standard color

front bay



Wood Windows and Doors Application

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.

1. Address of Property:

36 LINCOLN AVENUE, Deadwood, SD 57732

2. Applicant/Owner name & mailing address:

Mr. & Mrs. Bill Walsh, Robert Pearson
36 Lincoln Avenue
Deadwood, S.D. 57732

Telephone: (605) 920-1283

E-mail: BILL WALSH@Dakota@gmail.com

3. Applying for: ☒ Grant or ☐ Loan

Requested Grant or Loan Amount:

\$ 20,000

Estimated Total Cost for Entire Project:

\$

For Office Use Only:

☒ Owner Occupied

☐ Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 9/6/18

Initials: BA

Assessed Valuation \$

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document. Jo's Cell 605-390-5551

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

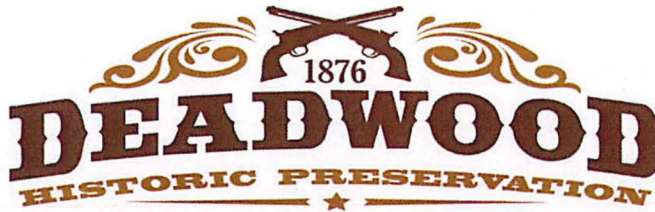
Applicant's signature:

Date submitted: 8/31/2018

Owner's signature:

Date submitted: 8/31/2018

Please complete Wood Window and Doors Worksheet on page 2 of this application



Elderly Residents Program Application

Please read the attached Policy Guidelines and provide the requested information.

Address of Property:

53 Forest Ave, Deadwood, SD

Applicant/Owner name & mailing address:

Kathleen R. Lane
53 Forest Ave.
Deadwood, SD 57732

Telephone: (605) 920-0151

E-mail KRL324@yahoo.com

What year were you born? 1952

Applying for: ☒ Grant or ☐ Loan

Requested Grant Amount:

\$ 10,000.00
20,500.00

Estimated Total Cost for Entire Project:

\$ 10,030.40 plus materials, supplies, paint

For Office Use Only:

☒ Owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 9/4/18

Initials: BA

Assessed Valuation \$ _____

Description of work to be done Replace siding on shed and paint, remove old siding + paint new,
sand deck + replace boards, replace gutters + downspout, replace sheet rock on ceiling + paint
repair + paint bathroom + bedroom walls + ceilings

Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance of a grant.

Applicant's signature: Kathleen R. Lane

Date submitted: 8/31/18

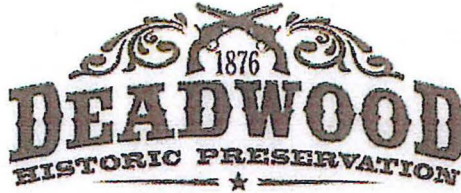
Owner's signature: _____

Date submitted: ____/____/____

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood
Planning, Zoning & Historic Preservation
108 Sherman Street
Deadwood, SD 57732
605-578-2082

Revised 6/7/18



Foundation Program Application

Please read the attached Policy Guidelines and provide the requested information.

1. Address of Property:

53 Forest Ave. Deadwood

2. Applicant's name & mailing address:

Kathleen R. Lane

53 Forest Ave.

Deadwood, SD 57732

Telephone: (605) 920-0151

E-mail: KRL324@yahoo.com

3. Owner of property – (if different from applicant):

Telephone: () -

E-mail

For Office Use Only:

☐ Owner Occupied

☐ Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: / / Initials:

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

5. Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: Kathleen R. Lane

Date submitted: 9/10/18

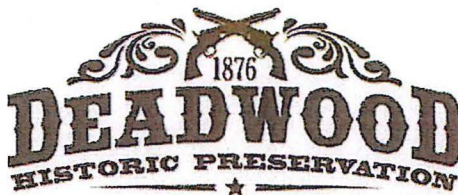
Owner's signature:

Date submitted: / /

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood
Planning, Zoning & Historic Preservation
108 Sherman Street
Deadwood, SD 57732
605-578-2082

Revised 9/28/17



Siding Program Application

Please read the attached Policy Guidelines and provide the requested information.

1. Address of Property:

53 Forest Ave. Deadwood, SD

2. Applicant's name & mailing address:

Kathleen R. Lane
53 Forest Ave.
Deadwood, SD 57732

Telephone: (605) 920-0151

E-mail KRL324@yahoo.com

3. Applying for: ☒ Grant or ☐ Loan

Requested Grant or Loan Amount:

\$ _____

Estimated Total Cost for Entire Project:

\$ _____

For Office Use Only:

☒ Owner Occupied

☐ Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: 9/4/18

Initials: BA

Assessed Valuation \$ _____

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

5. Certification

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: Kathleen R. Lane

Date submitted: 8/31/18

Owner's signature: _____

Date submitted: ____/____/____

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

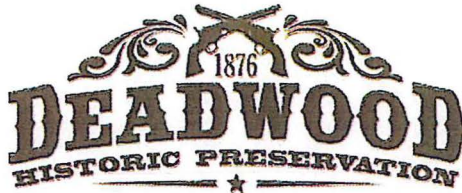
City of Deadwood
Planning, Zoning & Historic Preservation
108 Sherman Street
Deadwood, SD 57732
605-578-2082

LUIS TERRONES
7458 HWY 156
LINGLE, WY. 82223

KATHLEEN LANE
53 FOREST AVE
Deadwood, SD 57732

PROPOSAL

REPLACE SIDING IN SHED	\$600.00
REMOVE OLD SIDING AND REPLACE WITH NEW	\$1,547.50
DECK SANDING AND REPLACE SOME 2" X 6" TREATED BOARDS	\$1,307.00
REPLACE GUTTERS AND DOWN SPOUT	\$295.00
REPLACE SHEETROCK	\$180.00
PAINT AND REPAIR ROOM IN BATHROOM AND SEAL CRACKS	\$1,650.00
OUTSIDE HOUSE LABOR AND PAINTING	\$4,361.85
TOTAL:	\$9,941.35
SALES TAX	\$89.05
	\$10,030.40



Wood Windows and Doors Application

Please read the attached Policy Guidelines, Administrative Procedures and provide the requested information.

1. Address of Property:

53 Forest Ave, Deadwood

2. Applicant/Owner name & mailing address:

Kathleen R. Lane
53 Forest Ave
Deadwood, SD 57732

Telephone: (605) 920-0151

E-mail KRL324@yahoo.com

3. Applying for: ☐ Grant or ☐ Loan

Requested Grant or Loan Amount:

\$ _____

Estimated Total Cost for Entire Project:

\$ _____

For Office Use Only:

☐ Owner Occupied

☐ Non-owner Occupied

Verified through the Lawrence County Office of Equalization

Date: ___/___/___ Initials: _____

Assessed Valuation \$ _____

4. Complete a City of Deadwood Application for Project Approval OR Certificate of Appropriateness and attach it to this document.

I certify all information contained in this application and all information furnished in support of this application is given for the purpose of obtaining financial assistance in the form of a grant or a loan as true and complete to the best of my knowledge and belief. I acknowledge I have read the policy guidelines for the loan or grant included with and for this application and agree to all of the terms and conditions contained in the policy guidelines. I agree any contractors which I hire for this project will hold contractors licenses with the City of Deadwood and will require they also agree to and abide by the terms and conditions of the policy guidelines.

I acknowledge the Deadwood Historic Preservation Commission is merely granting or loaning funds in connection with the work or project and neither the Historic Preservation Commission nor the City of Deadwood is or will be responsible for satisfactory performance of the work or payment for the same beyond the grant or loan approval by the Historic Preservation Commission. I acknowledge I am solely responsible for selecting any contractors hired in connection with the project and in requiring satisfactory performance by such contractor. I agree to indemnify and hold harmless the Deadwood Historic Preservation Commission and the City of Deadwood against losses, costs, damages, expenses and liabilities of any nature directly or indirectly resulting from or arising out of or relating to the Deadwood Historic Preservation Commission's acceptance, consideration, approval, or disapproval of this application and the issuance or non-issuance or a grant or loan.

Applicant's signature: Kathleen R. Lane

Date submitted: 9/10/18

Owner's signature: _____

Date submitted: ___/___/___

Please complete Wood Window and Doors Worksheet on page 2 of this application

Wood Windows and Doors Worksheet

Please fill out below using numbers of windows, storm windows and doors.

Elevations	Repair or Replacement of Existing Window(s)	Installation of New Wood Storm and Screen	Replacement of Inappropriate Window(s)	Repair or Replacement of Existing Primary	Repair or Replacement of Other Exterior Wood Door(s)	Replacement of Inappropriate Existing Wood Door(s)
Front View	3	9		1	1	Storm Doors 2
Right Side View	1	112				
Left Side View	2	2				
Rear View	5	5				
Total Windows	18	18				
Existing wood window(s) qualified for restoration are eligible for a forgivable loan or grant up to \$800 per window.						
Window(s) qualified for the purchase and installation of approved wooden storm and screen windows <u>OR</u> qualified for restoration are eligible for a forgivable loan or grant up to \$350 per window.						
Window(s) qualified for the purchase and installation of new wood windows are eligible for a forgivable loan or grant up to \$800 per window if existing window is beyond repair.						
Primary wood entry door qualified for restoration is eligible for a forgivable loan or grant of \$400 <u>OR</u> for the removal of inappropriate primary door and installing an appropriate qualified door is eligible for a forgivable loan or grant of \$600.						
Other exterior door(s) qualified for restoration are eligible for a forgivable loan or grant of \$200 per door <u>OR</u> for the removal of inappropriate door(s) and installing an appropriate qualified door(s) are eligible for a forgivable loan or grant of \$300 per door.						
Primary door and additional exterior door(s) qualified for the purchase and installation of new wood door(s) are eligible for a forgivable loan or grant of \$100 per door if existing door is beyond repair.						

14400
6350

The forgivable loan or grant is available up to \$20,000.00 maximum.

Please return the completed application along with the Project Approval OR Certificate of Appropriateness to:

City of Deadwood
Planning, Zoning & Historic Preservation
108 Sherman Street
Deadwood, SD 57732
605-578-2082

Broken Bathr
Parler

Storm

OFFICE OF
PLANNING, ZONING AND HISTORIC
PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084

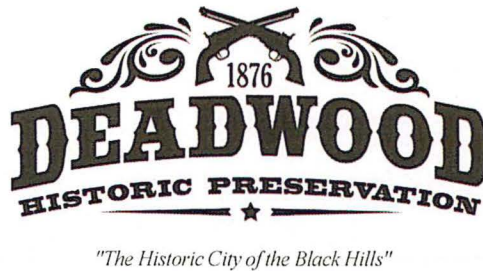


EXHIBIT B

Kevin Kuchenbecker
Historic Preservation Officer
Telephone (605) 578-2082

MEMORANDUM

Date: September 7, 2018
To: Deadwood Historic Preservation Commission
From: Kevin Kuchenbecker, Historic Preservation Officer
Bonny Anfinson, Program Coordinator
Re: Historic Preservation Program Grant Extensions

The following Historic Preservation Program applicants are requesting an extension of their Grant.
Staff's recommendation follows for the extension requests.

- Brad Peterson/Shirlene Joseph 766 Main Foundation Program
The grant expires on 08/20/18. The applicant has completed some of the foundation work and has more that needs done. Staff recommends extending the grant for an additional six months which will expire 02/20/19.
- Amy Gorzalka 50 Van Buren Wood Windows and Doors Program
The grant expires on 09/05/2018. Foundation repairs are complete and the contractor is starting on the windows. Staff recommends extending the grant for an additional three months which will expire on 12/05/2018.
- Tom McNary 14 Van Buren Wood Windows and Doors Program
The grant expires on 09/22/18. The applicant has been restoring windows and is almost complete. Staff recommends extending the grant for an additional three months which will expire 12/22/18.
- Shanna Knox 83 Charles..... Wood Windows and Doors Program
The grant expires on 09/22/18. The contractor has completed the siding and foundation and will now start on the windows. Staff recommends extending the grant for an additional three months which will expire 12/22/18.

Case No. 180101
Address: 65 Forest Avenue

EXHIBIT D

Staff Report

The applicant has submitted an application for Project Approval for work at 65 Forest Avenue, a Contributing structure located in the Forest Hill Planning Unit in the City of Deadwood.

Applicant: Adrian & Annette Hoines
Owner: HOINES, ADRIAN M & ANNETTE K
Constructed: 1896

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth century boom.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to re-roof the entire house due to hail damages. The house currently has historic wooden shingles but the applicant is requesting to replace them with asphalt shingles.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion:

It is staff opinion the wood shingles are a architecturally identifying characteristic to the few houses that remain with the wood shingles. The insurance company should cover the replacement cost of wood shingles. It is staff's opinion, the proposed work and changes do not encroach upon, damage or destroy a historic resource but does have an adverse effect on the character of the building. It is also staff's opinion it does not have an adverse effect on the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

[imagerepeater]

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

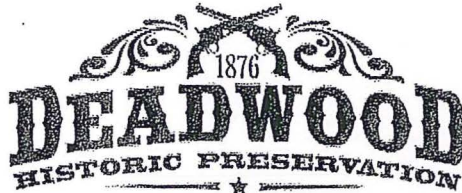
Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



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108 Sherman Street
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Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	18010
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	7/18/18
Date of Hearing	7/25/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: 65 Forest Avenue, Deadwood
Historic Name of Property (if known): The Elder House

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other

Owner's Name: Adrian & Annette Hoines Address: 13636 390 th Ave City: Aberdeen State: S.D. Zip: 57401 6052168160 Telephone: 6052262856 Fax: E-mail: Annette.Hoines@hotmail.com	Architect's Name: Address: City: State: Zip: Telephone: Fax: E-mail:
--	--

Contractor's Name: Address: City: State: Zip: Telephone: Fax: E-mail:	Agent's Name: Address: City: State: Zip: Telephone: Fax: E-mail:
---	--

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input checked="" type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input type="checkbox"/> Other	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input checked="" type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Re-roofing of entire house due to hail damage.
House is Nat'l. Historic with wood shingles.
Request to replace with asphalt shingles to
improve appearance, insulation due to underlayment
on asphalt shingles; vents would improve
circulation and reduce fire hazard.

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Robert Steiner 7/18/2018
SIGNATURE OF OWNER(S) DATE

Annette Jones 7/18/18
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

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"The Historic City of the Black Hills"
Deadwood, South Dakota 57732

Mike Runge
Archivist
Telephone (605) 578-2082

MEMORANDUM

Date: September 10, 2018
To: Deadwood Historic Preservation Commission
From: Mike Runge, City Archivist
Re: **Donation #2018.04 / 2018.09 Black Hills Mining Museum Collection**

The City of Deadwood – Archives is requesting permission to formally accept the following items into the City's permanent collection. The donation materials fall within the Historic Preservation - City Archives Mission Statement.

- **2018.04 / 2018.09 Black Hills Mining Museum.** These collections consist of photographs, archival material, City voter registration lists, printed Deadwood advertisements and ephemera from the 1870s to the 1940s.

These collections will greatly enhance the City and Historic Preservation's permanent collection of archival materials. Two of the images from this collection were used in the 2019 HPC budget PowerPoint presentation on Friday September 7, 2018 in Pierre, South Dakota. Examples of this collection are on temporary display during this meeting.

RECOMMENDATION

Formally accept the abovementioned donation and acquisition into the City's permanent collection.

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07/30/18

City of Deadwood Historic Preservation Office
Attn: Kevin Kuchenbecker
108 Sherman Street
Deadwood, SD 57732

Dear Kevin:

The following appraisal assignment was undertaken at your request in order to assess the current market value of one unique, custom built Deadwood Diorama by modeler John (Jack) Anfinson, being considered for purchase by you. This appraisal is a Restricted Appraisal Report as defined by the 2018-2019 USPAP. It limits the report to you, my client, only and may not be used by any third party. The intended use is for pre-purchase informed decision making and it is to be used for that purpose only. Any other use renders this appraisal null and void. The information contained within this report has been kept to a minimum. The rationale for how this appraiser arrived at the opinions and value conclusions set forth may not be understood properly without additional information contained in my work file. Additional photographs were taken but have been kept in the work file.

The item listed herein was inspected at 142 Glendale Drive in Lead, SD, in the presence of the modeler, Jack Anfinson, on July 12th. It has been valued as of the date of this report, 11/25/17. I have provided a valuation based on market value. The definition of market value used is summarized as follows: "The most probable amount of money a buyer would pay and a seller would receive for an item within an identified market." It also assumes all conditions are requisite to a fair sale, that the buyer and seller are acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus.

The scope of work included examination of the property, market and value research and analysis, and compiling the results in a report format. Many factors specific to the object were also considered including age, style, quality, condition, provenance including exhibition and literature history if any, location, and other factors. The research and analysis is reported in a very limited fashion, although further details are available in the work file. The condition of the items, unless otherwise noted, was good. Any alterations from original condition or damage beyond that usual and common for items of similar age are so noted in the appraisal report. Since we are not professional conservators or restorers, statements of condition are qualified subjective opinions only and not intended to be comprehensive. Unless otherwise stated herein, items were valued based only on their readily apparent identity. There did not appear to be anything that would require further authentication.

The cost approach was utilized as the most appropriate and effective approach to determining value. The cost approach compares the item being appraised with the cost to replace it. The cost approach provides an estimate of or an exact quote of the cost to replace through production, reproduction, or purchase. For

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the purposes of this assignment, reproduction cost was selected as most appropriate. This method of valuation involves determining the total cost of constructing an exact replica, using the same materials and construction techniques as the original by a qualified and similarly accomplished craftsman.

The sales comparison approach to valuation, which involves comparison of the property with similar items sold within the market that I considered most common or relevant, was deemed inappropriate and was not used. The income approach was also not utilized since present worth of potential forecasted earnings related to these items is not relevant to the objective for this assignment.

Total market value is **\$85,000 - \$115,000**. This is the market value of the object including delivery, installation and setup. The one-year warranty was also considered, although a monetary value was not assigned to it.

The appraised value is based upon the whole and possessory interest of the client, undiminished by any liens, fractional interests or any other form of encumbrance or alienation. However, this appraisal is not an indication or certificate of title or ownership. The identification of the interest has been represented to me by my client and no inquiry or investigation will be made nor is any opinion to be given as to the truth of such representation.

I and this appraisal firm have no present or future interest in the appraised items or any other interest that would bias the appraisal report. Employment to make this appraisal and compensation for it are not based on the valuation found nor are they contingent on the client's use of this report or on the success or failure related to such use.

The value conclusions expressed herein are based on the appraiser's best judgment and opinion and are not a representation or warranty that the items will realize those values if offered for sale. The values expressed are based on current information on the date the appraisal was made. No opinion is expressed as to any past value or to any future value.

I certify that to the best of my knowledge and belief:

- a. Statements of fact contained in this report are true and correct.
- b. The reported analysis, opinions, and conclusions are limited only by the reported critical assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- c. I have no undisclosed past, present or contemplated future interest in the property that is the subject of this report, and no personal interest with respect to the parties involved. I have not been part of any transaction or appraisal of these items in the past 3 years.
- d. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
- e. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- f. My compensation for this appraisal is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the

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value opinion, the attachment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.

- g. I have personally inspected the listed property that is the subject of this report.
- h. Unless noted elsewhere, no one provided significant professional assistance to the person signing this report.
- i. This appraisal has been prepared in conformity with and is subject to the current version of the International Society of Appraisers' *Appraisal Report Writing Standard* and *Code of Ethics*. In addition, my analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the current version, 2016-2017, of The Appraisal Foundation's *Uniform Standards of Professional Appraisal Practice (USPAP)*.

This report may not be copied, altered, or used by any other party without the written permission of this appraiser. Should, in conjunction with this appraisal, additional services of the appraiser be requested by the client, his agent or lawyer, or the courts, compensation for same shall be at the customary hourly rate charged by the appraiser at that time and shall be paid by the client immediately upon receipt of a statement for said work.

I regard all information concerning this appraisal as confidential. I retain a copy of this document along with my original notes, and will not allow others to have access to these records without your written permission unless so ordered by a court of law.

Sincerely,



Rebecca Madison, Personal Property Appraiser, ISA AM, CAGA

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APPRAISED ITEMS

Item Number	Accession Number	Appraised Value	Item Type
1.	N/A	\$85,000 - \$115,000	Diorama

Object: "Deadwood City, June 15, 1876" Diorama

Artisan/Maker: John (Jack) Anfinson

Date of Creation: 10/2016-7/2018

Medium/Materials: wood, cloth, plastic, plaster, clay, adhesive, glass, dirt

Dimensions: entire display 101" long x 36" wide x 78" tall; diorama 96" long x 30" wide

Signature/Markings: none at time of inspection

Verso: N/A

Purchase Price: N/A

Description:

HO scale historically accurate* diorama of the town of Deadwood as it was on June 15th, 1876, recreated using extensive research of available photographs, literature references, and documentation.

The diorama is housed within a rough-sawn lumber construction base with canvas topping to simulate the canvas tents used in Deadwood at that time. The base is of 1"x4" framework, tight-knit and with a lot of cross members to prevent warping over time, as well as 2" sheet Styrofoam, tapered to get the proper incline. The casing is of 1"x8" rough-sawn ponderosa pine, milled in the Black Hills. The canvas top is stretched over a frame of 1"x4" wood with the underside trimmed with leather detail affixed with wrought iron nails.

The diorama itself shows views of Main Street, the beginning of Lee Street, Gold Street, the alley behind Deadwood, and the west side of Wall Street. There are 34 total buildings, not including "camp tents", of which there are 10. There are 13 wood structures with canvas tops, mainly mines or commercial establishments, 14 log structures with false fronts of board, and 7 stick framed structures of machined lumber including one still under construction.

Some of the buildings represented include what was on that day (or became later): the General Custer Store, the #10 Saloon, the Deadwood Theater, the Goldberg Grocery, The Cricket Bar (later called the Gem), the Hong Kee (which provided washing, ironing, and garment mending), The Iowa Restaurant, Montana Meat Market, The Delmonico Hotel & Restaurant, Hang Kee's shop, and the tin shop.

No kits were used for any of the buildings. They are all crafted using careful "board by board" construction, with each log, board, or timber individually placed and glued by hand. Other detail of the buildings includes a stone chimney of clay, hand carved and painted before firing, and 'hand-shaved' ponderosa roofing shingles.

Commercially available windows and doors were used in most of the structures, with the exception of several hand-crafted doors. Two of the buildings have low-level lighting inside, in the form of oil lamps. Other special effects lighting element include two wood fires and a burn pile, all with flickering effects. The tents are of linen, assembled with adhesive.

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The trees were hand-built of cedar dowel, after images of the originals that stood at the time being represented. The dirt that was used in the diorama was hand-dug from a depth approximating that of the period depicted, from the hill represented at a corner of the diorama.

Figures were commercially purchased, with several being custom modified by heating and reforming or by removing unwanted elements. A third of the figures were pre-painted, with the remaining two-thirds hand painted by the modeler. The wagons were built from kits, similarly customized where necessary.

Housed within the diorama is a custom motion sensor-activated narrative file and a 6 ½ minute looped soundtrack with noises including building sounds, horse hooves, wagon sounds, blacksmithing, saloon piano music, dogs, bird, men and women talking, an occasional rooster, and occasional gunshots, a shout, or a scream. The speakers were carefully placed to give a “surround” affect.

The diorama will be housed within a 4 piece ¼” clear tempered glass cover with clear silicone into wood framing around diorama.

**to the degree possible*

Note: Dimensions of the buildings were taken, but are not included here.

Condition: Excellent

Provenance: From the artist/modeler

Exhibited: Exhibited at the September, 2017 National Narrow Gauge Convention, Denver, CO. The diorama, in an earlier stage of completion than at the time of this report, won 3rd place in the Offline Diorama category.

Literature: Narrow Gauge and Short Line Gazette, Nov/Dec 2017, page 6

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Item 1

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VALUATION COMMENTS

A reasonable amount of time to conduct preliminary research necessary to produce this diorama was determined. The cost of required materials and electronic components was assessed, including any elements that were able to be built from kits or purchased, such as the wagons, figures, and most of the windows and doors. Most of the cost to reproduce this diorama is not in the materials or preliminary research, but in the painstaking crafting of the custom-built structures, trees, and landscaping.

The amount of time needed for a hobbyist modeler working from a private shop to reproduce this project, with the luxury of endless time to make small adjustments and additions over an extended period, is very difficult to quantify retrospectively. It is also significantly different from the parameters a deadline-oriented professional modeling company would need to adhere to in order to bring this project to completion within a predetermined time frame and budget. Both scenarios are equally relevant here and we have attempted to give both equal weight in determining current market value.

To provide an accurate representative cross section of the current market value to reproduce the diorama base, landscaping, structures and trees, a small group of professional modelers were asked to provide us with their estimates of the approximate time and cost if they were to be hired to do so. The modelers are all experienced in building museum dioramas, as well as architectural models and other types of display models. The group ranged from an independent hobbyist contractor working from his home shop to a professional scale modeling company with various specialists on staff.

All modelers consulted with agreed that the amount of time it would take to build this diorama was significant, possibly even cost-prohibitive, for them to bill their clients for such an undertaking. It was also stated that to order this diorama, significant lead time of many months would be required to complete and deliver the project, ranging from 12-24 months.

Shipping or freight, as well as setup and installation, would also be required. Due to the high number of variables, we estimated these costs using the assumption that the property would originate within a 100-mile radius. However, it should be noted here that if that were not available, these costs would likely add an additional \$4,000-\$12,000, depending on location.

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ARTIST (MODELER) INFORMATION

John (Jack) Anfinson (b. 1954)

Jack Anfinson's forefathers settled in Northfield, MN from Norway which is also where Jack was born in 1954. Jack's Grandfather owned a barber shop in Northfield. He was raised in St. Louise Park, MN while both parents worked at Honeywell.

Jack's artistic talents were inherited from his Father. He was very skilled at drawing and oil painting. He is the one who bought Jack his first train and they built their first layout together from scratch.

Jack Anfinson attended the Minneapolis School of Arts 3-D Modeling Program. All other education and training has been self-taught. Worldwide Miniature's website is Jack's inspiration.

The Northern Black Hills of South Dakota has been Jack's inspiration for modeling. There were many railroads there at one time and now they have disappeared. Jack's goal is to put the rail lines back on the map through visual history of what the Black Hills once looked like.

Jack's main focus is historic proto-type scratch building. Other focus is realistic trees and ground cover.

Jack Anfinson is the current President of the Northern Hills Railway Society located at 614 Main Street, Deadwood. Jack also assists Rick Mills, President, of the South Dakota State Railroad Museum in Hill City, SD. Jack is currently contracted to design and landscape an O scale model railroad in the private sector. Jack has been contracted to build HO scale model structures such as Point of Rocks Railway Station in Point of Rocks, Maryland.

Jack Anfinson received third place for the Deadwood, Dakota Territory Diorama in the Off Line Diorama Category at the 37th Annual National Narrow Gauge Convention in September of 2017 in Denver, Colorado.

Jack Anfinson's scratch built buildings and landscaping are on display at the Northern Hills Railway Society in Deadwood, SD

© Jack Anfinson 2018

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SOURCES

THE FOLLOWING REFERENCE BOOKS WERE CONSULTED:

N/A

THE FOLLOWING GALLERIES, EXPERTS, OR AUCTION HOUSES WERE SPECIFICALLY CONSULTED:

Jeff Springer, Owner, Custom Model Railroads, Baltimore, MD
Lev Brodsky, Owner and Head Model Maker, Gamla Model Makers, Feasterville, PA
The Model Railroad Club, Union, NJ
Rail Tales, Charlottesville, VA

THE FOLLOWING INTERNET SITES WERE SPECIFICALLY CONSULTED:

www.nmra.org
ha.com
www.bouldercreekrailroad.com

June 7, 2018

Deadwood Historic Preservation Commission
108 Sherman Street
Deadwood, SD 57732

RE: Deadwood Diorama Proposal

Black Hills Scale Models is very excited about this opportunity to present this request for proposal to purchase the Deadwood City June 1876 Diorama.

As you will see in the attached proposal this diorama is not only unique but also fits into the historical vision of the City of Deadwood along with being modeled by a local award winning artist. This exquisite one of a kind diorama needs to be on display for everyone to enjoy.

Thank you for this opportunity to submit this proposal. I hope you become impelled to make this a part of Deadwood.

Respectfully submitted,



John (Jack) Anfinson

Jackanf54@yahoo.com

(605)***_****

BLACK HILLS SCALE MODELS DEADWOOD CITY DIORAMA PROPOSAL

June 7, 2018

OVERVIEW

1. Diorama Background and Description

Two years ago while doing research at the HARCC I came across the first known photo of Deadwood. While studying the photo I often imagined myself in Deadwood during this time period. This photo propelled me to build a diorama of Deadwood June 15, 1876.

After much research the dream started coming alive with the modeling of each building by hand and crafting the tents and mastering an original technique needed to create the muddy street. Even using local soils to make it as accurate as possible. Eight feet long it sits atop a 36 inch high stand made of rough sawn lumber topped with a canvas canopy and a glass enclosure.

2. Diorama Proposal Opportunity

The time has come for the diorama to find a permanent home. This would be an impressive way to display a visual of Deadwood's beginning. Residents and visitors can immerse themselves into Main Street Deadwood on June 15, 1876. Imagine riding a horse up Main Street with the smell of warming pine and recently discharged fire arms. As you are making your way up the muddy thoroughfare it is full of fortune seekers with sounds of gun shots, women screaming and an old time piano playing. I am hoping the Historic Preservation Commission shares the same vision and would like to purchase and place the diorama in the Welcome Center or in the History and Information Center. Please take some time and view the attached pictures.

3. Diorama Proposal Amenities

- 98 inch long 32 inch wide display with hand crafted buildings, tents, trees and landscaping.
- 36 inch high stand made of rough sawn lumber.
- Canvas canopy with lettering.
- Sound system with extra sound chips.
- Lighting.
- Glass enclosure.
- Display lift with child step.
- Diorama Set-up.
- Warranty: Free maintenance for minor repairs. Fees will be charged for repairs due to mishandling, vandalism or damage caused from moving diorama. One year warranty of sound system and lights.
- Additional three sided diorama with matching base to fit along a wall in the waiting room with the benches of the History and Information Center. The railroad themed design choice is the Deadwood Central Turntable and Powerhouse, the D & D Smelter or the Slime Plant.

4. Diorama Assessed Value

This diorama was on display at the 37th Annual National Narrow Gauge Convention in Denver, Colorado last fall and received third place in the Off Line Diorama category. I have been asked by the international **Narrow Gauge Gazette** to write an article regarding the diorama and the unique modeling process.

A member of World Wide Miniatures group has posted this diorama on their Facebook page. This membership is made up of the elite modelers throughout the world.

If this diorama was contracted to be built for the private sector the cost would be \$97,500 based on the cost of materials plus the number of hours it took to build the diorama at an hourly standard rate of \$75 per hour.

5. Proposed Diorama Price

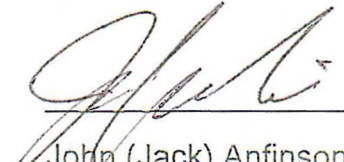
This diorama is not only unique but also fits into the historical vision of the City of Deadwood along with being modeled by a local award winning artist. This exquisite one of a kind diorama needs to be on display for everyone to enjoy.

Before accepting offers from the private sector the Deadwood Diorama is being offered first to the City of Deadwood Historic Preservation Commission to purchase. Money was not the inspiration for building the diorama. Being able to share my historic Deadwood vision was my passion. The proposed asking price for this piece of Deadwood history is \$45,000 which includes the amenities listed above.

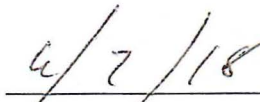
6. About the Artist

The Deadwood Diorama has been designed and modeled by John (Jack) Anfinson. Current President of the Northern Hills Railway Society located at 614 Main Street, Deadwood. Also assists with the trains for Rick Mills at the South Dakota State Railroad Museum in Hill City, SD. Currently contracted to design and landscape an O scale model railroad in the private sector. I have been contracted to build HO scale model structures.

Respectfully Submitted,



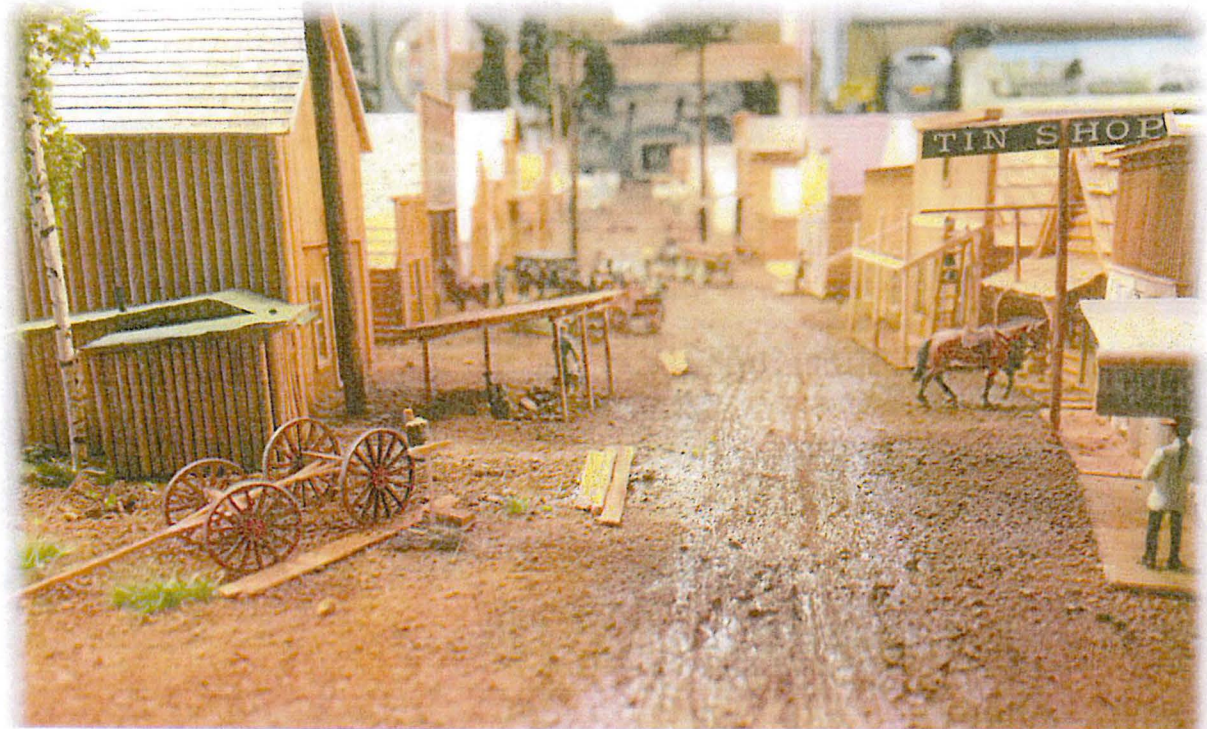
John (Jack) Anfinson



Date

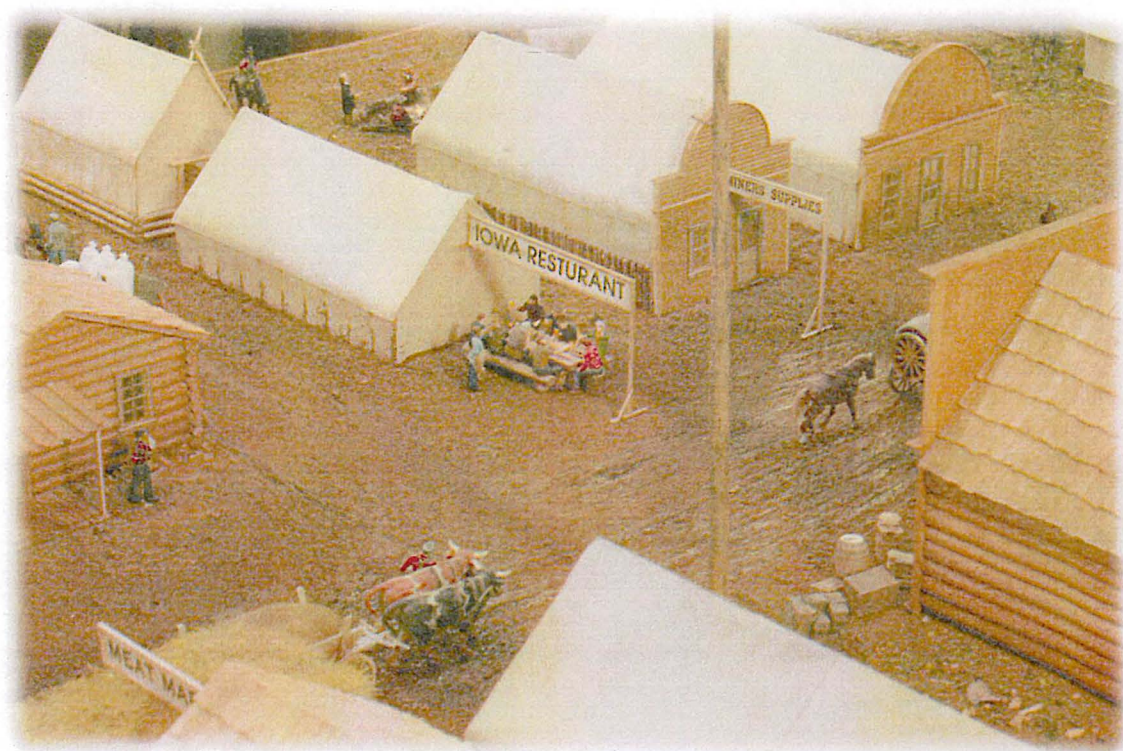
Deadwood City June 1876 Diorama

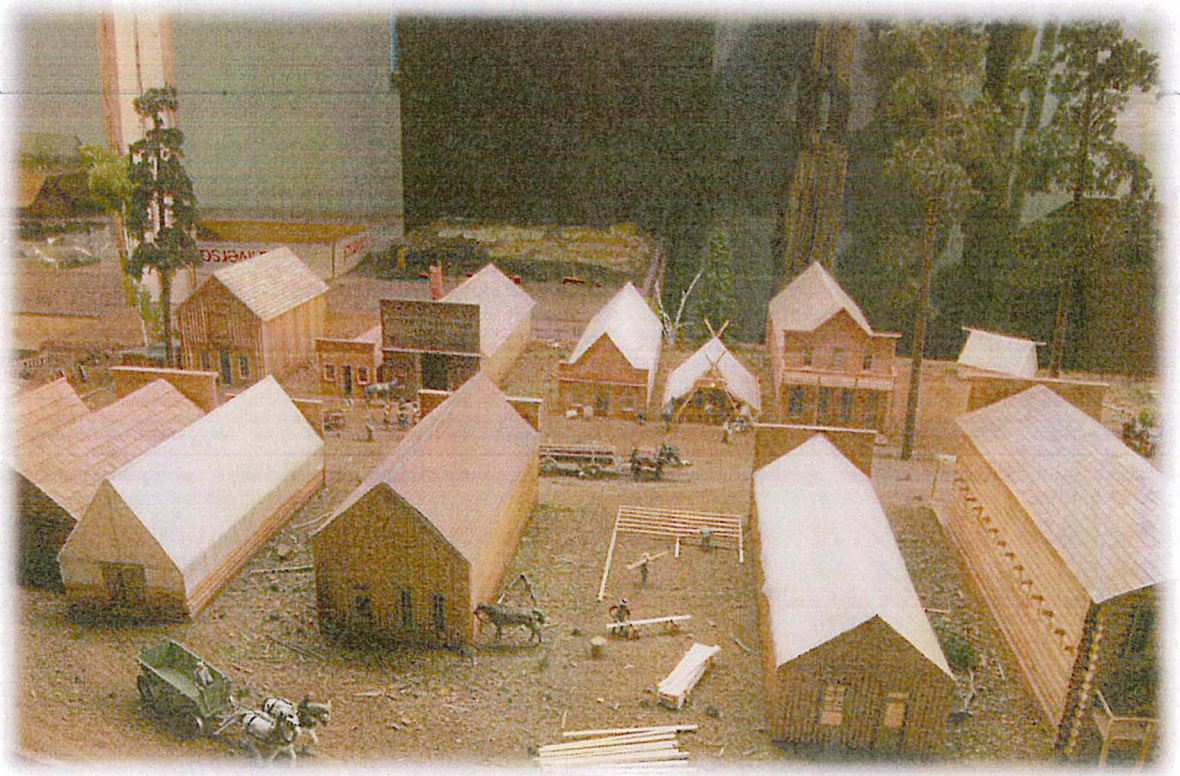
















Deadwood Comprehensive Plan

**A draft of the Deadwood Comprehensive Plan
is ready for you to review!**

*Please plan to attend one of the upcoming open house meetings to learn more
about the comprehensive plan and provide your feedback on the draft.*

COMMUNITY OPEN HOUSES

Thursday, September 27th

1:00 - 3:00 pm

or

5:00 - 7:00 pm

Location: Mary Adams Room @ Days of '76 Museum (50 Crescent Drive)

*The meetings will be "open house" style so drop in anytime to either of the
meetings. All meetings are open to the public.*

DRAFT COMPREHENSIVE PLAN

Available for review online at:

www.deadwoodplan.com/documents

A paper copy is also available for review at Deadwood City Hall.

FOR MORE INFORMATION:

www.deadwoodplan.com

Date: 9/05/2018

Case No. 180292
Address: 716 MAIN ST

Staff Report

The applicant has submitted an application for Project Approval for work at 716 MAIN ST, a CONTRIBUTING structure located in Deadwood City Planning Unit in the City of Deadwood.

Applicant: LEAD-DEADWOOD SCHOOL DISTRICT
Owner: LEAD-DEADWOOD SCHOOL DISTRICT
Constructed: 1924-25

CRITERIA FOR THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS

The Historic District Commission shall use the following criteria in granting or denying the Certificate of Appropriateness:

General Factors:

- 1. Historic significance of the resource:** This building is a contributing structure in the Deadwood National Landmark Historic District, unit 4, Deadwood City.
- 2. Architectural design of the resource and proposed alterations:** The applicant is requesting permission for the following exterior changes, a new entry vestibule to the main office, modify the bottom third of the existing exterior fire stairs, a screen wall for the fire stairs, new concrete paving to adjust grades at the entry and a bench height brick wall, reroute an existing pair of ductwork to the exterior of the west side, and new hardware on the existing gate.

Attachments: No

Plans: Yes

Photos: Yes

Staff Opinion: The proposed work is proposed in a manner which will be compatible with the resource and still read as a new addition or alteration. It is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.



Motions available for commission action:

A: Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is congruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to grant Certification of Appropriateness.

OR

B: Based upon the guidance found in DCO 17.68.050, I find that the exterior alteration proposed is incongruous with the historical, architectural, archaeological or cultural aspects of the district and MOVE to deny Certification of Appropriateness.

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180292
<input type="checkbox"/> Project Approval	
<input checked="" type="checkbox"/> Certificate of Appropriateness	
Date Received	9/5/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 716 Main St, Deadwood, SD 57732

Historic Name of Property (if known): Deadwood High School

APPLICANT INFORMATION

Applicant is: ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other

Owner's Name: Lead-Deadwood Schools

Address: 320 S. Main St.

City: Lead State: SD Zip: 57754

Telephone: (605)-717-3890 Fax: (605)-717-2811

E-mail: dan.leikvold@k12.sd.us

Architect's Name: JLG Architects

Address: 510 1/2 9th St.

City: Rapid City State: SD Zip: 57701

Telephone: (605)-394-8831 Fax:

E-mail: jaltman@jlgarchitects.com

Contractor's Name:

Address:

City: State: Zip:

Telephone: Fax:

E-mail:

Agent's Name:

Address:

City: State: Zip:

Telephone: Fax:

E-mail:

TYPE OF IMPROVEMENT

☒ Alteration (change to exterior)

☒ New Construction

☐ General Maintenance

Other

☐ New Building

☐ Re-Roofing

☐ Siding

☐ Awning

☐ Addition

☐ Wood Repair

☐ Windows

☐ Sign

☐ Accessory Structure

☐ Exterior Painting

☐ Fencing

ACTIVITY: (CHECK AS APPLICABLE)				
Project Start Date:		Phase 2A - 3rd and 4th floor: Start and Completion Summer 2019 Phase 2B - 1st and 2nd floor: Start and Completion Summer 2020		
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input checked="" type="checkbox"/> ADDITION	<input checked="" type="checkbox"/> Front	<input checked="" type="checkbox"/> Vestibule	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input checked="" type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential	<input checked="" type="checkbox"/> Other	Vestibule and Bench Wall	
<input checked="" type="checkbox"/> ROOF	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Re-roofing	Vestibule	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation		
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
<input checked="" type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	See Attached elevations for screen around exterior exit stair	
	<input checked="" type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOW	<input checked="" type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS	
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input checked="" type="checkbox"/> New	
	<input checked="" type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material Alum - white Style/type Storefront at Vestibule				
<input type="checkbox"/> SIGN/AWNING	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	See attached elevation for metal school signage
Material _____ Style/type _____ Dimensions _____				
<input type="checkbox"/> OTHER – Describe in detail below or use attachments				

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

The elementary remodel project consists largely of interior remodel of spaces for the 1924 portion of the existing elementary school. The project will be bid once but constructed over the course of two summers; with the top two floors to occur in 2019 and the first floor, second floor and vestibule in 2020. The project will add fire sprinkler to the portion of the building being renovated, adjust the location of the office and main entry, update security, improve ADA access and renovate classroom space to accommodate changing demographics and offer flexibility. Changes to the exterior are relatively minor but include a new entry vestibule to the main office, modification of the bottom third of an existing exterior fire stair, a screen wall for the fire stair, new concrete paving to adjust grades at the entry and a bench height brick wall. In addition, on the North side, the existing gate will be receive hardware upgrades and an existing pair of ductwork will be rerouted to the exterior of the building on the west.

FOR OFFICE USE ONLY Case No. _____
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SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

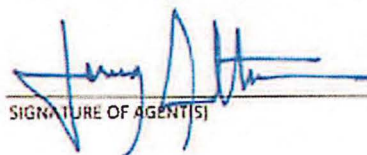
I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

 9.5.2018

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Criteria Checklist for Project Approval OR Certificate of Appropriateness

SUBMITTAL CRITERIA CHECKLIST

The documentation listed below will assist in the submission of the application. *Not all information listed below is required for each project. In order to save time and effort, please consult with the Historic Preservation Office prior to completing your application.*

ALL WORK:

- ☒ Photograph of house and existing conditions from all relevant sides.

RENOVATIONS AND ADDITIONS:

- ☒ Elevation and plan drawings to scale indicating proposed alterations or additions, clearly indicating the existing building and what is proposed and including the relationship to adjacent structures. Make sure to include door and window design if altered. Manufacturer's catalog data may be used, if applicable.
- ☒ Exterior material description.
- ☒ Site plan showing dimensions of lot and location of existing building(s) or structure(s) on lot, location of additions, dimensions of existing structure and additions. (Show use of addition and location of windows and doors if applicable.)
- ☒ Photograph of existing conditions from all elevations.
- ☒ Color samples and placement on the structure. Digital
- ☐ Historic photographs should accompany any request to return a structure to an earlier historic appearance. (Please note our archives may be of great assistance)

MATERIAL CHANGES:

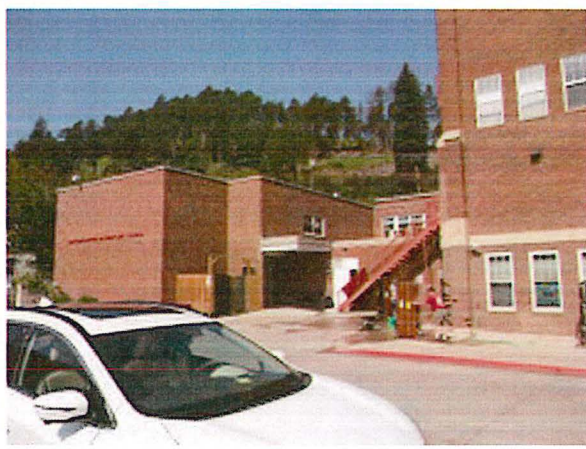
- ☐ Written description of area involved.
- ☐ Color photographs or slides of areas involved and surrounding structures if applicable.
- ☐ Sample or photo of materials involved.

PAINTING, SIDING:

- ☐ Color photographs of all areas involved and surrounding structures if applicable.
- ☐ Samples of colors and/or materials to be used.
- ☐ Dimensioned elevation and section to scale, showing design of fence, material, and height in relationship to adjacent structures.

NEW CONSTRUCTION:

- ☐ Elevation drawings to scale showing all sides and dimensions. Elevation drawings to scale showing relationship to structures immediately adjacent.
- ☐ Photograph of proposed site and adjacent buildings on adjoining properties.
- ☐ Site plan including building footprint and location of off-street parking showing setbacks. Include number of spaces, surface material, screening and all other information required under Parking Areas.
- ☐ Material list including door and window styles, colors and texture samples.
- ☐ Scale model indicating significant detail. (This may be required for major construction. Please consult Historic Preservation Commission staff.)
- ☐ Color photographs of proposed site and structures within vicinity of new building.



Partial East Facade



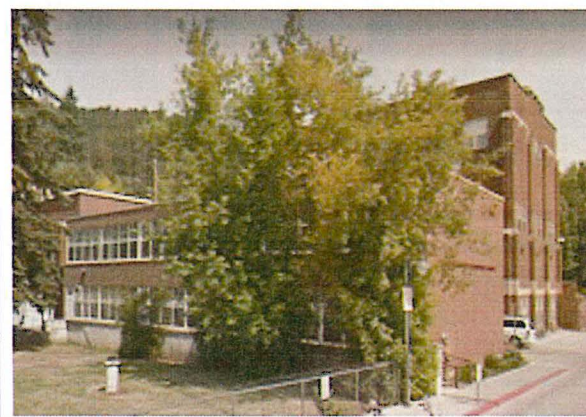
East Facade



Partial West Facade



Partial West Facade

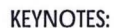


Partial South Facade



Partial South Facade

LEAD-DEADWOOD ELEMENTARY SCHOOL- EXISTING PHOTOS

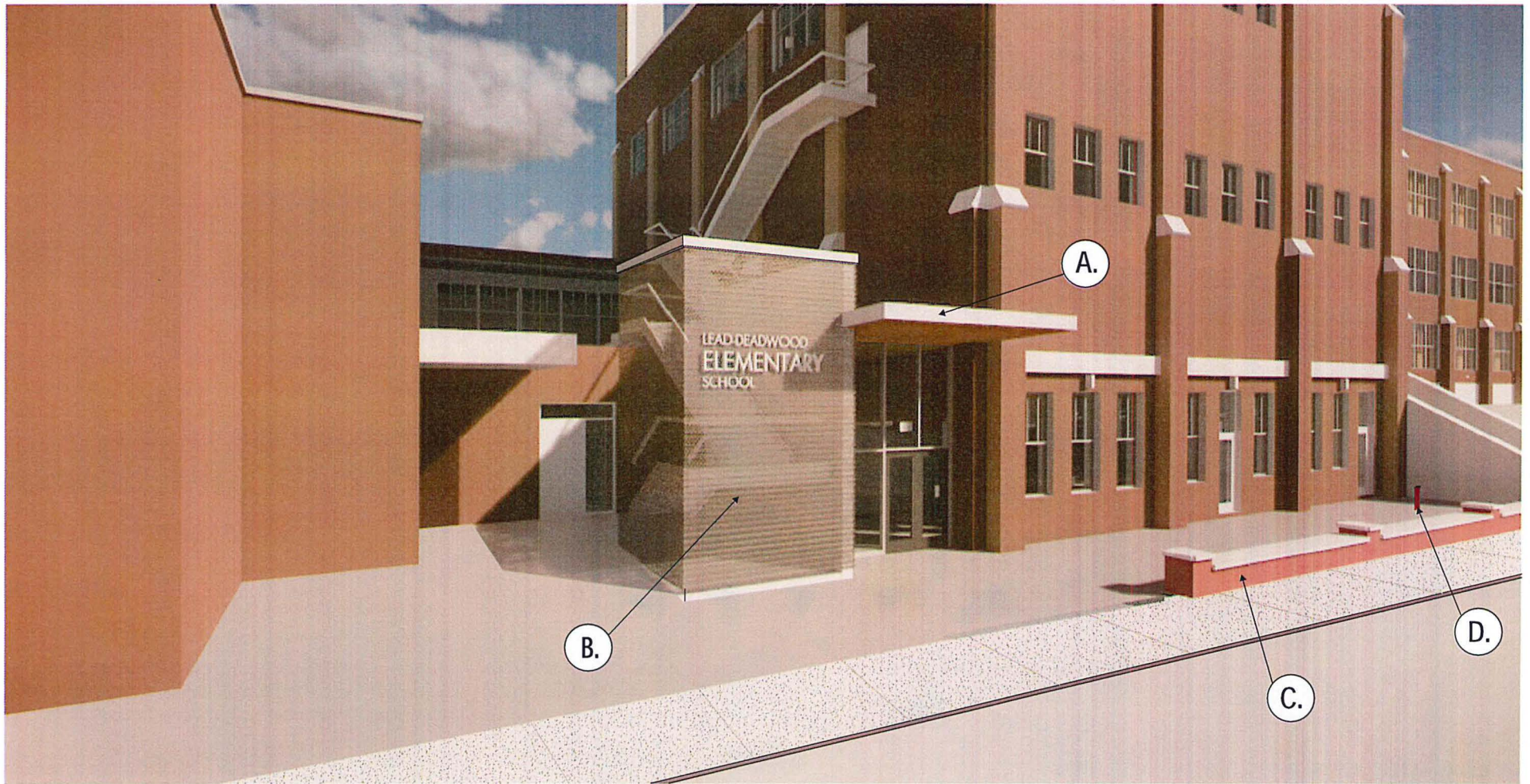


- ics | CONSULTING, INC. JLG
DESIGN FOR LIFE



NEW ENTRY VESTIBULE - EXISTING VIEW PROPOSED NEW ENTRY LOCATION LEAD-DEADWOOD ELEMENTARY SCHOOL

Sept 4, 2018 | JLG 16180B | © 2018 JLG ARCHITECTS



KEYNOTES:

- A. New Main Entry Vestibule: Painted Aluminum Storefront (white), Roof Canopy With Wood at Underside and Painted Metal Fascia Edge
- B. Reconfigured Metal Fire Exit Stair With New Enclosure: Perforated Architectural Metal Panel and New School Signage
- C. New Partial Wall/Bench: Brick to match existing and Precast Concrete Cap
- D. New Fire Service Post Indicator Valve (PIV) - See attached product information

NEW ENTRY VESTIBULE - EXTERIOR VIEW LEAD-DEADWOOD ELEMENTARY SCHOOL

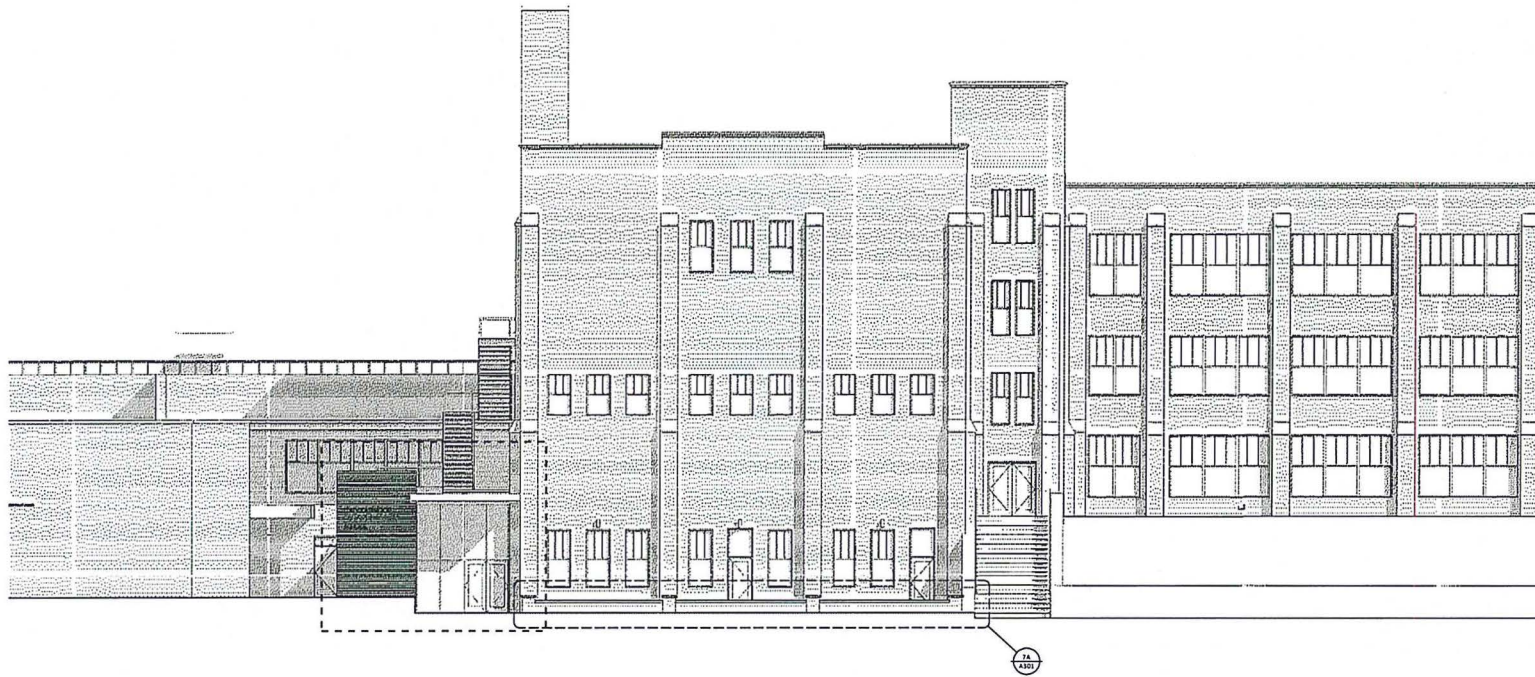
Sept 4, 2018 | JLG 16180B | © 2018 JLG ARCHITECTS

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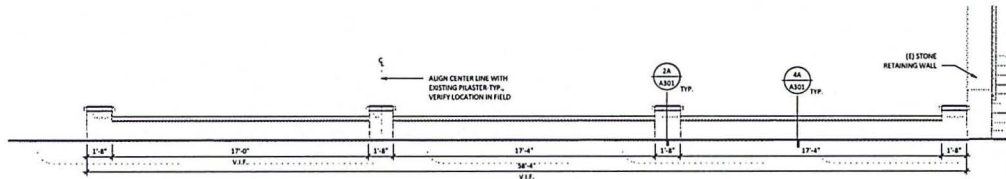
CONSULTING, INC



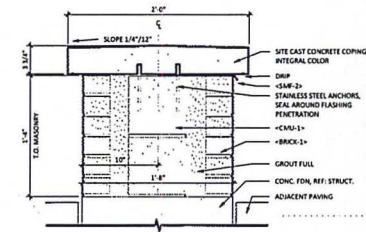
DESIGN FOR LIFE



7B
A301 PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

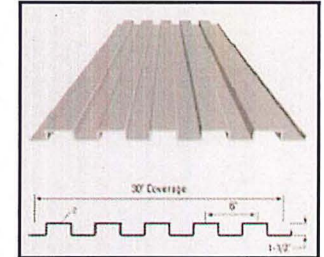


7A
A301 ALT#1 - ENLARGED WEST ELEV
SCALE: 1/4" = 1'-0"

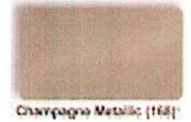


4A
A301 PATIO WALL LOW SECTION
SCALE: 1/2" = 1'-0"

MATERIALS:



- FIRE ESCAPE SCREEN WALL:**
- Equal to T10-B Wall Panel by Metal Sales:
 - perforated
 - horizontal installation
 - color: Champagne



- ENTRY VEST. CANOPY:**
- Underside of Canopy Material:
 - Beetle Kill Pine, clear sealer

NEW ENTRY VESTIBULE - EXTERIOR ELEVATION & MATERIALS LEAD-DEADWOOD ELEMENTARY SCHOOL

Sept 4, 2018 | JLG 16180B | © 2018 JLG ARCHITECTS

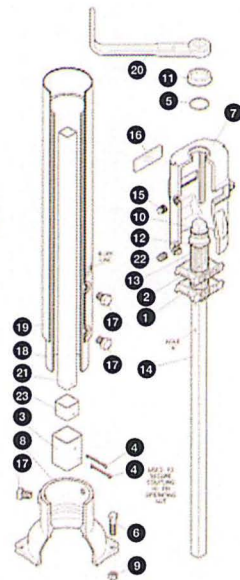
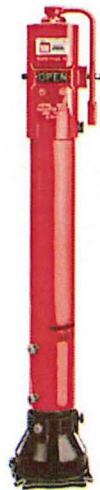
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CONSULTING, INC

JLG

DESIGN FOR LIFE

Adjustable Post Indicator

US
PIPEVALVE &
HYDRANT

PRODUCT FEATURES

- Adjustable in field without disassembly 24 1/4" (616mm) range.
- Compatible with 4" – 24"/DN100 – DN600 post indicator valves, requiring 14 to 75 turns respectively to open.
- Models: U-20806 4" – 14"/DN100 – DN350 valves, U-20807 16" – 24"/DN400 – DN600 valves.
- Open left or right options.
- Withstands up to 900 lb-ft (1220Nm) of operating torque.
- Lockable Operating Wrench storage prevents tampering.
- NPT tapped boss for mounting optional supervisory switch.
- UL listed (4" – 24"/DN100 – DN600); FM approved (4" – 16"/DN100 – DN400).

PARTS LIST

ID	PART NAME	MATERIAL
1	SHUT Target	Nylon
2	OPEN Target	Nylon
3	Coupling	Steel ASTM A500 GR.B
4	Cotter Pin (long)	Brass ASTM B21
5	Retaining Ring	Stainless Steel AISI 302
6	Hex Bolt	Steel/Plated ASTM A307 or SAE J429
7	Post Head	Cast Iron ASTM A126 CL.B
8	Ball	Cast Iron ASTM A126 CL.B
9	Hex Nut	Steel/Plated ASTM A563
10	Operating Nut	Ductile Iron ASTM A536
11	Cap	Polypropylene
12	Spring Pin	Stainless Steel AISI 420
13	Threaded Sleeve	Nylon
14	Upper Stem	Steel ASTM A513
15	Pipe Plug- Hex Socket	Steel
16	Window	Plexiglass
17	Hex Head Screw	Steel/Plated ASTM A307 or SAE J429
18	Lower Barrel	Ductile Iron ASTM A746 (See Note 1)
19	Upper Barrel	Steel ASTM A53 GR.B
20	Wrench	Ductile Iron ASTM A536 (See Note 2)
21	Lower Stem	Steel ASTM A500 GR.B
22	Socket Head Set Screw	Steel ANSI B18.3
23	Coupling	Steel ASTM A500 GR.B

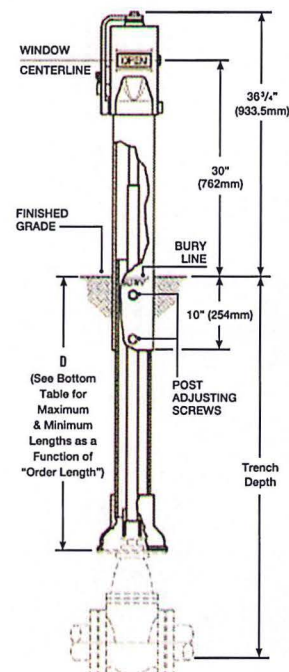
Notes:

- PVC DR14 UL Listed optional.
- The Wrench (#20) is made of Ductile Iron on the 4" – 14"/DN100 – DN350 valves and Steel on the 16" – 24"/DN400 – DN600 valves.

Mueller Co.
Reliable Connections

Mueller Co. International Division • 6125 Preservation Dr., Suite 200 • Chattanooga, TN 37416 USA
p+1.423.490.9555 • f+1.423.531.0033 • international@muellercompany.com • mueller-international.com
Form 12830 – Rev 09/17

Adjustable Post Indicator

US
PIPEVALVE &
HYDRANT

NOMINAL TRENCH DEPTHS – Feet/Inches (mm)

VALVE SIZE	ORDER LENGTH A		ORDER LENGTH B	
	Min.	Max.	Min.	Max.
4"/DN100	2'7" (787)	4'5" (1348)	4'1" (1247)	6'2" (1880)
6"/DN150	3'0" (914)	4'10" (1473)	4'6" (1371)	6'7" (2007)
8"/DN200	3'4" (1016)	5'2" (1575)	4'11" (1499)	6'11" (2108)
10"/DN250	3'8" (1118)	5'6" (1676)	5'3" (1600)	7'3" (2210)
12"/DN300	4'0" (1219)	5'10" (1778)	5'7" (1702)	7'7" (2311)
14"/DN350	4'6" (1371)	6'4" (1930)	6'1" (1854)	8'1" (2464)
16"/DN400	4'10" (1473)	6'8" (2032)	6'5" (1956)	8'5" (2565)
18"/DN450	5'5" (1651)	7'3" (2210)	7'0" (2134)	9'0" (2743)
20"/DN500	5'10" (1778)	7'8" (2337)	7'4" (2235)	9'5" (2870)
24"/DN600	6'6" (1981)	8'4" (2540)	8'1" (2464)	10'1" (3073)

VALVE SIZE	ORDER LENGTH C		ORDER LENGTH D	
	Min.	Max.	Min.	Max.
4"/DN100	5'10" (1778)	7'11" (2413)	7'6" (2286)	9'8" (2946)
6"/DN150	6'3" (1905)	8'4" (2540)	8'0" (2438)	10'1" (3073)
8"/DN200	6'8" (2032)	8'8" (2642)	8'5" (2565)	10'5" (3175)
10"/DN250	6'10" (2083)	9'0" (2743)	8'9" (2667)	10'9" (3277)
12"/DN300	7'4" (2235)	9'4" (2849)	9'1" (2769)	11'1" (3378)
14"/DN350	7'10" (2388)	9'10" (2997)	9'7" (2921)	11'7" (3531)
16"/DN400	8'2" (2489)	10'2" (3099)	9'11" (3023)	11'11" (3632)
18"/DN450	8'9" (2667)	10'9" (3277)	10'6" (3200)	12'6" (3810)
20"/DN500	9'1" (2769)	11'2" (3404)	10'10" (3302)	12'11" (3937)
24"/DN600	9'10" (2997)	11'10" (3608)	11'7" (3531)	13'7" (4140)

VALVE SIZE	ORDER LENGTH E		ORDER LENGTH F	
	Min.	Max.	Min.	Max.
4"/DN100	9'4" (2849)	11'5" (3480)	11'1" (3378)	13'2" (4013)
6"/DN150	9'9" (2972)	11'10" (3608)	11'6" (3505)	13'7" (4140)
8"/DN200	10'2" (3099)	12'2" (3708)	11'11" (3632)	13'11" (4242)
10"/DN250	10'6" (3200)	12'6" (3810)	12'3" (3734)	14'3" (4343)
12"/DN300	10'10" (3302)	12'10" (3912)	12'7" (3835)	14'7" (4445)
14"/DN350	11'4" (3454)	13'4" (4064)	13'1" (3988)	15'1" (4597)
16"/DN400	11'8" (3556)	13'8" (4166)	13'5" (4089)	15'5" (4699)
18"/DN450	12'3" (3734)	14'3" (4343)	14'0" (4267)	16'0" (4877)
20"/DN500	12'7" (3835)	14'8" (4470)	14'4" (4369)	16'5" (5004)
24"/DN600	13'4" (4064)	15'4" (4674)	15'1" (4597)	17'1" (5207)

D DIMENSION – Adjustment Range and Weight

	ORDER LENGTH					
	A	B	C	D	E	F
Minimum	17 1/4" (438mm)	36" (914mm)	57" (1448mm)	78" (1981mm)	99" (2515mm)	120" (3048mm)
Maximum	39 1/4" (997mm)	60 1/4" (1530mm)	81 1/4" (2064mm)	102 1/4" (2597mm)	123 1/4" (3130mm)	144 1/4" (3664mm)
WEIGHT	140lbs (63kg)	166lbs (75kg)	195lbs (88kg)	224lbs (102kg)	253lbs (115kg)	282lbs (128kg)

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NEW ENTRY VESTIBULE - FIRE SERVICE POST INDICATOR VALVE (PIV)

LEAD-DEADWOOD ELEMENTARY SCHOOL

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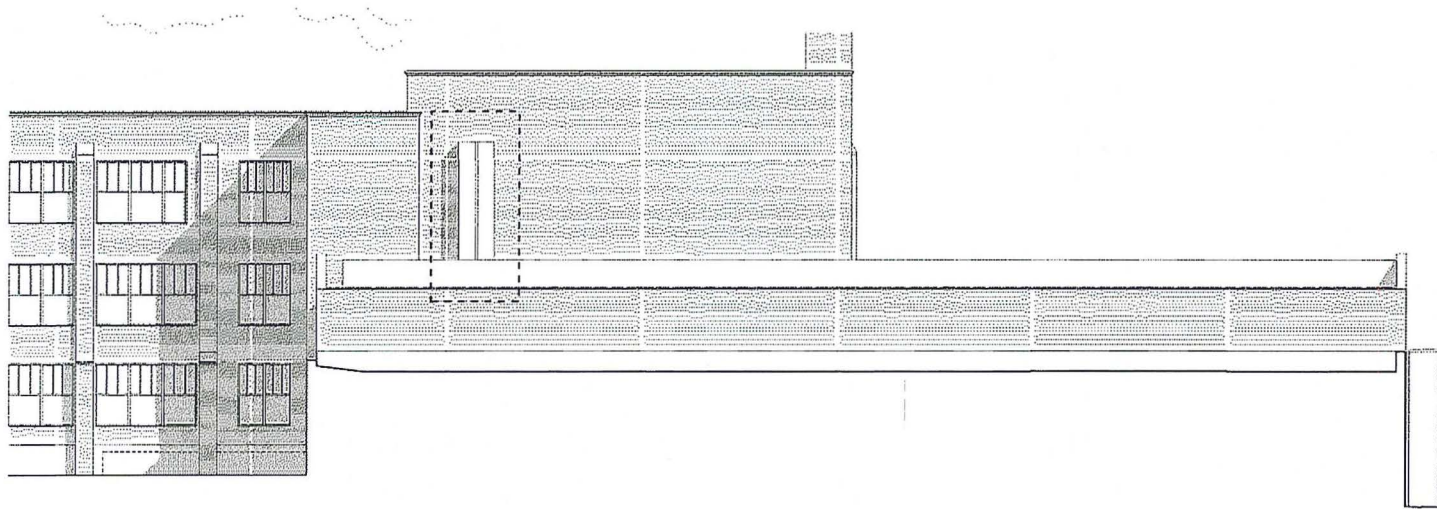
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DESIGN FOR LIFE



AUDITORIUM DUCTWORK & NEW RTUS AT CLASSROOMS -
 EXISTING PHOTO AT WEST SIDE OF SCHOOL
LEAD-DEADWOOD ELEMENTARY SCHOOL

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7D
A301 PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXAMPLE/PRECEDENT OF EXTERIOR DUCTWORK: FRANKLIN HOTEL



AUDITORIUM DUCTWORK & NEW RTUS AT CLASSROOMS - WEST ELEVATION AND EXAMPLE PHOTOS LEAD-DEADWOOD ELEMENTARY SCHOOL

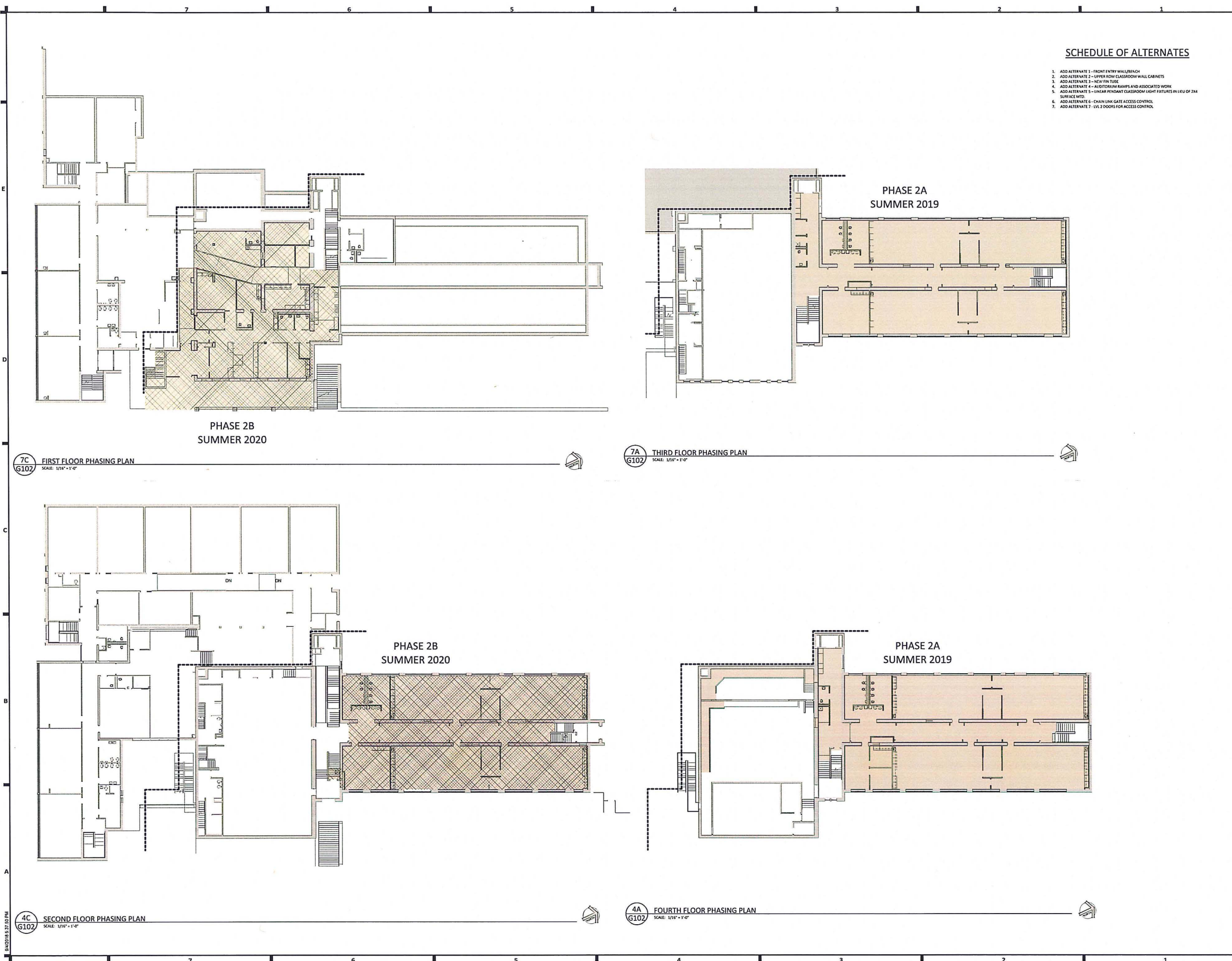
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DESIGN FOR LIFE



SCHEDULE OF ALTERNATES

1. ADD ALTERNATE 1 - FRONT ENTRY WALL/BENCH
2. ADD ALTERNATE 2 - UPPER ROW CLASSROOM WALL CABINETS
3. ADD ALTERNATE 3 - NEW FIN TUBE
4. ADD ALTERNATE 4 - ALUMINUM RAMP AND ASSOCIATED WORK
5. ADD ALTERNATE 5 - LINEAR PENDANT CLASSROOM LIGHT FIXTURES IN LRU OF 284 SURFACE MTD.
6. ADD ALTERNATE 6 - CHAIN LINK GATE ACCESS CONTROL
7. ADD ALTERNATE 7 - LVL 2 DOORS FOR ACCESS CONTROL



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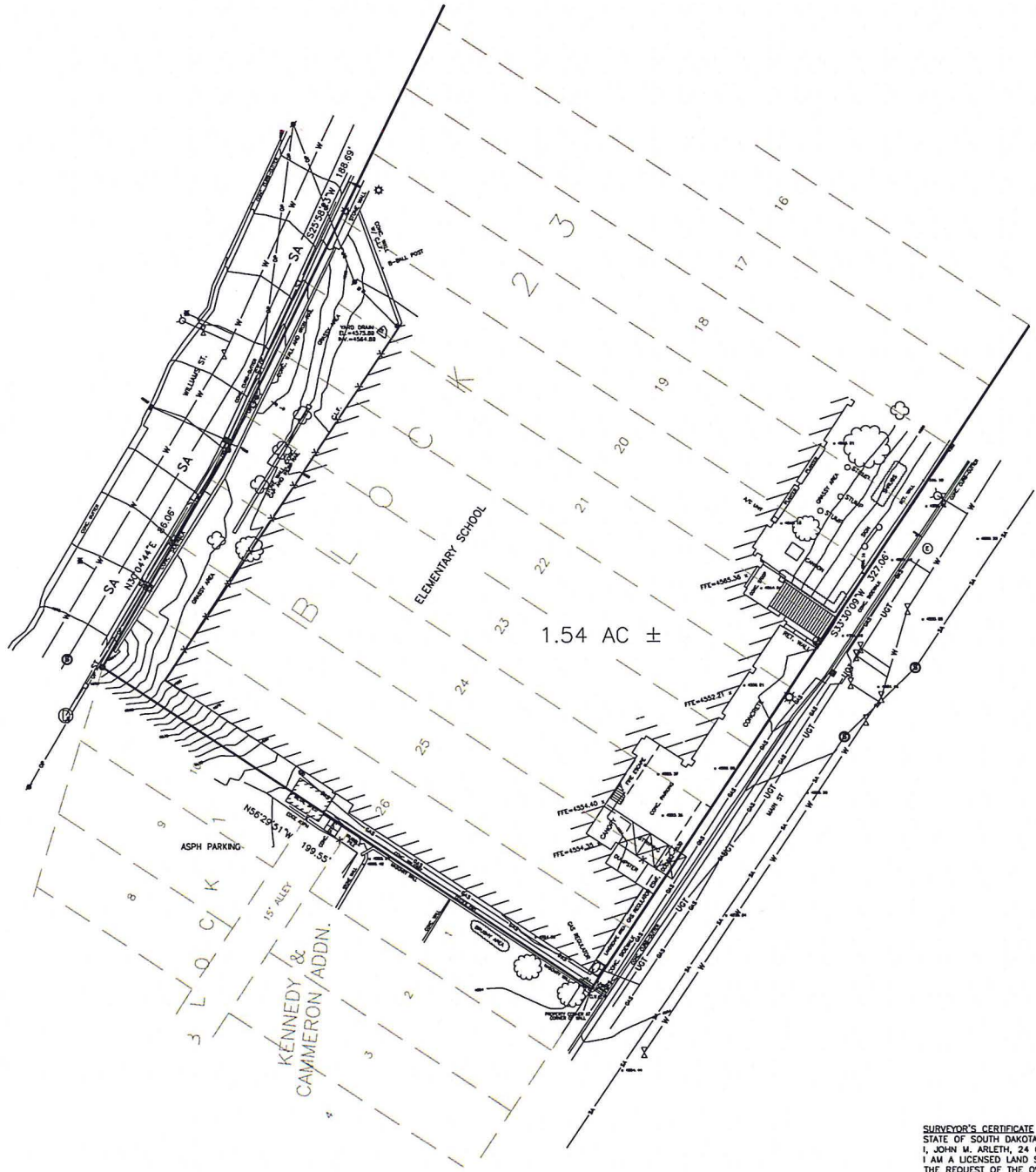
LEAD-DEADWOOD SCHOOL DISTRICT
Lead Deadwood Elementary Renovation
DEADWOOD, SD

DATE
09/04/18
PHASE
CD-95%
PROJECT
161808
SHEET
G102
PHASING AND
SCOPE PLANS

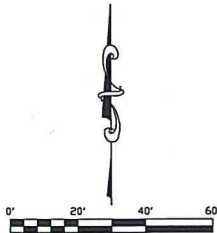
TOPOGRAPHIC SURVEY OF A PORTION OF
THE DEADWOOD ELEMENTARY SCHOOL
LOCATED ON LOTS 13 AND 15 THRU 26, BLOCK 23,
ORIGINAL TOWN, CITY OF DEADWOOD,
LAWRENCE COUNTY, SOUTH DAKOTA



LOCATION MAP
NOT TO SCALE



- LEGEND**
- SET 5/8" PIN AND CAP MARKED "LS3977" UNLESS NOTED
 - CLEANOUT
 - CURBSTOP
 - DROP INLET
 - ELECTRIC MANHOLE
 - FINISHED FLOOR ELEVATION
 - FIRE HYDRANT
 - GAS METER
 - GAS VALVE
 - GUY ANCHOR
 - LAMP POLE
 - POWER POLE
 - SANITARY MANHOLE
 - SHRUB
 - SIGN
 - STORM MANHOLE
 - TELEPHONE BOX
 - TREE
 - WATER VALVE
 - X — FENCELINE
 - G — GAS LINE
 - □ — GUARDRAIL
 - — OVERHEAD POWER
 - SA — SANITARY LINE
 - — STORM LINE
 - UGT — TELEPHONE/COMMUNICATIONS
 - W — UNDERGROUND ELECTRIC
 - — WATER LINE
- BENCHMARK 1218-20
N: 5977.15
E: 8911.61
EL: 4557.07 NGVD 29
EL: 4556.18 NAVD 88



SURVEYOR'S CERTIFICATE
STATE OF SOUTH DAKOTA COUNTY OF LAWRENCE
I, JOHN M. ARLETH, 24 CLIFF STREET, DEADWOOD, SD, DO HEREBY CERTIFY THAT
I AM A LICENSED LAND SURVEYOR IN THE STATE OF SOUTH DAKOTA. THAT AT
THE REQUEST OF THE OWNER AND UNDER MY SUPERVISION, I HAVE CAUSED TO
BE SURVEYED AND PLATTED THE PROPERTY SHOWN AND DESCRIBED HEREON. TO
THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE PROPERTY WAS
SURVEYED IN GENERAL CONFORMANCE WITH THE LAWS OF THE STATE OF SOUTH
DAKOTA AND ACCEPTED METHODS AND PROCEDURES OF SURVEYING.
DATED THIS 22ND DAY OF AUGUST, 2018

- NOTES**
1. THIS PROPERTY IS ZONED PU-PUBLIC USE.
 2. BASIS OF BEARING IS DEADWOOD COORDINATE SYSTEM
 3. LOCATION OF UNDERGROUND UTILITIES BY SURFACE EVIDENCE AND FROM PLANS.
 4. SUBJECT PROPERTY IS IN FLOOD ZONE X PER FEMA PANEL 46081C 0213F DATED APRIL 17, 2012

JOHN M. ARLETH, R.L.S. 3977



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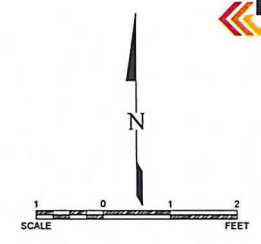
LEAD-DEADWOOD SCHOOL DISTRICT
Lead Deadwood Elementary Renovation
DEADWOOD, SD

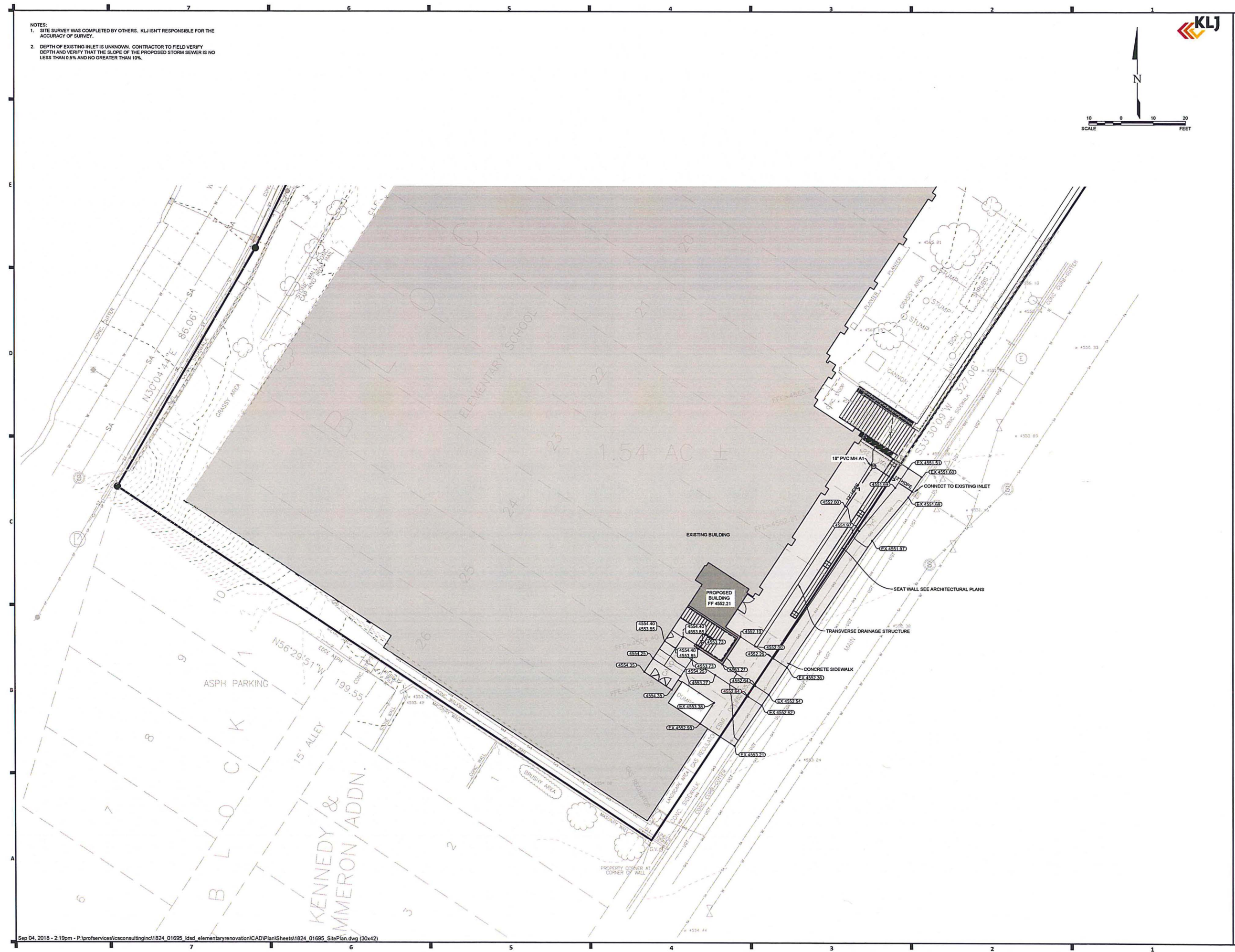
DATE
09/04/18
PHASE
CD-95%

PROJECT
1824-01695

SHEET
C1.01
EXISTING CONDITIONS
& REMOVALS

- NOTES:
1. SITE SURVEY WAS COMPLETED BY OTHERS. KLJ ISN'T RESPONSIBLE FOR THE ACCURACY OF SURVEY.
 2. EXACT REMOVAL LIMITS TO BE DETERMINED BY THE ENGINEER IN THE FIELD.







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REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

LEAD-DEADWOOD SCHOOL DISTRICT
Lead Deadwood Elementary Renovation
DEADWOOD, SD

DATE
09/04/18

PHASE
CD-95%

PROJECT
1824-01695

SHEET
C1.02
SITE PLAN



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LEAD-DEADWOOD SCHOOL DISTRICT
Lead Deadwood Elementary Renovation
DEADWOOD, SD

DATE
09/04/18
PROJECT
CD-95%

PROJECT
16180B

SHEET
A202
SECOND FLOOR
PLAN

SHEET MATERIAL ID LIST

MATERIAL ID SPEC SECTION & DESCRIPTION

FLOOR PLAN GENERAL NOTES

- FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQUIREMENTS AND LOCATIONS SEE DWG G120.
- FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQUIREMENTS AND MOUNTING LOCATIONS SEE DWG G006.
- ALL PARTITION TYPES ARE "A4" TYPICALLY UNLESS OTHERWISE NOTED.
- COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWINGS SERIES A700.
- TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- PROVIDE WALL REINFORCEMENT PER DETAIL R4/A XXX AT WALL MOUNTED SHELVES AND STORAGE UNITS, MARKER BOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULES) SEE DWG A8-006.
- FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - 1/4" N.D. SEE DWG A8-006.
- COORDINATE DIMENSIONS W/ ASTERISK (E.G. *14'-0" W/ EQUIPMENT VENDOR).
- PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR MASONRY UNLESS OTHERWISE NOTED.
- COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR OUTDOOR W/ MECHANICAL CONTRACTOR - TYPICAL.

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
01	REINSTALL LOCKER GROUP 3.3, REPAINT
02	REINSTALL LOCKER GROUP 3.4, REPAINT
03	REINSTALL LOCKER GROUP 3.1, REPAINT
04	NEW LOCKERS
05	REINSTALL LOCKER GROUP 2.1, REPAINT
06	REINSTALL LOCKER GROUP 2.2, REPAINT

A6
A202
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN GENERAL NOTES

- FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQUIREMENTS AND LOCATIONS SEE DWG G120.
- FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQUIREMENTS AND MOUNTING LOCATIONS SEE DWG G600.
- ALL PARTITION TYPES ARE "A" TYPICALLY UNLESS OTHERWISE NOTED.
- COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700.
- TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
- PROVIDE WALL REINFORCEMENT PER DETAIL #12A-200 AT WALL MOUNTED SHELVES AND STORAGE UNITS, MARKER BOARDS, BULLETIN BOARDS, TRACE BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULES) SEE DWG A8-100.
- FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.O. SEE DWG A8-200.
- COORDINATE DIMENSIONS W/ ASTERISK (E.G. *X'-Y" W/ EQUIPMENT VENDOR.
- PROVIDE BUILDING ON ALL CHAM OUTSIDE CORNERS - TYPICAL.
- ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR MASONRY UNLESS OTHERWISE NOTED.
- COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
01	REINSTALL LOCKER GROUP 3.3. REPAINT
02	REINSTALL LOCKER GROUP 3.4. REPAINT
03	REINSTALL LOCKER GROUP 3.1. REPAINT
04	NEW LOCKERS
05	REINSTALL LOCKER GROUP 2.1. REPAINT
06	REINSTALL LOCKER GROUP 2.2. REPAINT

6A
A203
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

09/04/2018 5:50:12 PM

FLOOR PLAN GENERAL NOTES

- A. FOR TYPICAL BARRIER FREE TOILET ROOM TYPES AND ACCESSORIES REQUIREMENTS AND LOCATIONS SEE DWG G120.
B. FOR TYPICAL HOUSEKEEPING CLOSETS ACCESSORIES REQUIREMENTS AND MOUNTING LOCATIONS SEE DWG G202.
C. ALL PARTITION TYPES ARE "A" TYPICALLY UNLESS OTHERWISE NOTED.
D. COORDINATE PARTITION FIRE RATED REQUIREMENTS AS INDICATED ON REFLECTED CEILING PLANS - DRAWING SERIES A700.
E. TYPICALLY INSTALL SOAP DISPENSERS AND PAPER TOWEL DISPENSER AT ALL SINKS UNLESS NOTED OTHERWISE.
F. PROVIDE WALL REINFORCEMENT PER DETAIL #2/A-XXX AT WALL-MOUNTED SHELVES AND STORAGE UNITS, MARKER BOARDS, BULLETIN BOARDS, TACK BOARDS, TELEVISIONS AND OTHER CONTRACTOR OR OWNER FURNISHED WALL-MOUNTED ITEMS (REFER TO ACCESSORIES AND EQUIPMENT SCHEDULE) SEE DWG A7-205.
G. FOR ALL CARPET TYPE CHANGES BETWEEN ROOMS, TRANSITION SHALL OCCUR AT CENTERLINE OF DOOR PANEL TYPICALLY - U.N.D. SEE DWG A7-XXX.
H. COORDINATE EMERGENCY W/ ASTERISK (E*) 1" X 1" W/ EQUIPMENT VENDER.
I. PROVIDE BULLNOSE ON ALL CMU OUTSIDE CORNERS - TYPICAL.
J. ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD OR MASONRY UNLESS OTHERWISE NOTED.
K. COORDINATE ALL FLOOR OPENING DIMENSIONS AND CLEARANCES FOR DUCTWORK W/ MECHANICAL CONTRACTOR - TYPICAL.

FLOOR PLAN KEYNOTES

KEYNOTE	DESCRIPTION
01	REINSTALL LOCKER GROUP 3.3, REPAIR
02	REINSTALL LOCKER GROUP 3.4, REPAIR
03	REINSTALL LOCKER GROUP 3.1, REPAIR
04	NEW LOCKERS
05	REINSTALL LOCKER GROUP 3.1, REPAIR
06	REINSTALL LOCKER GROUP 2.2, REPAIR

LEAD-DEADWOOD SCHOOL DISTRICT
Lead Deadwood Elementary Renovation
DEADWOOD, SDDATE
09/04/18
PHASE
CD-95%PROJECT
161808SHEET
A204
FOURTH FLOOR
PLAN6A
A204
FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

SHEET MATERIAL ID LIST

MATERIAL ID	SPEC SECTION & DESCRIPTION
EPDM-2	EPD 5100 - FULLY ADHERED EPDM ROOFING SYSTEM

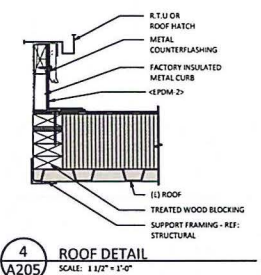
ROOF PLAN KEYNOTES

KEYNOTE	DESCRIPTION
01	ROOF HATCH TO REMAIN
02	NEW 4'X4' ROOF HATCH
03	RELOCATED DUCTWORK, COLOR TO MATCH BRICK - REF. MECH

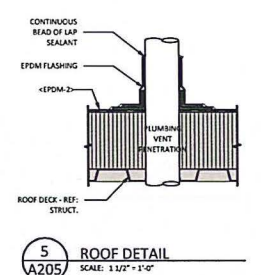
ROOF PLAN GENERAL NOTES

VERIFY WITH YOUR PROJECT SPECIFIC ROOF SYSTEM

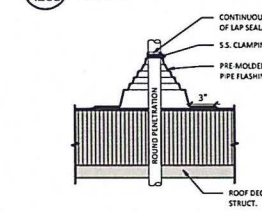
- COORDINATE FINAL SIZE AND FINAL LOCATION OF ALL EQUIPMENT SUPPORT WITH THE APPROPRIATE EQUIPMENT MANUFACTURER.
- PROVIDE POSITIVE SLOPE TO ALL ROOF DRAINS. ROOF SLOPE TO BE 1/4" PER FOOT MINIMUM.
- SEE DRAWING A-XX FOR ROOF DETAILS. ROOFING CONTRACTOR TO VERIFY ALL ROOF DETAILS COMPLY WITH APPROVED ROOFING SYSTEM. IT IS THE RESPONSIBILITY OF THE ROOFING CONTRACTOR TO SUPPLY ANY ADDITIONAL DETAILS AND/OR MATERIALS TO ENSURE COMPLIANCE WITH WARRANTY.
- REFER TO MECHANICAL AND ELECTRICAL DOCUMENTS FOR ALL PIPES, CURBS, VENTS, DUCTS, CONDENSATES AND OTHER FEATURES EXTENDING THROUGH ROOF SURFACES WHICH REQUIRE FLASHING AND COORDINATE SIZE AND LOCATION OF SAME.
- FOR ROOF ASSEMBLY TYPES SEE SHEET RAX XXX.
- INLET OF OVERFLOW ROOF SUMPS SHALL BE LOCATED 2" ABOVE ROOF SUMP INLET (TYP) MIN. 0.
- SEE MECHANICAL DRAWINGS B-A-XX FOR FINAL QUANTITIES & FINAL LOCATIONS OF VENTS THRU ROOF.
- PROVIDE SPLASH BLOCK AT ALL PRIMARY AND SECONDARY RAIN CONDUCTOR TERMINATIONS ONTO SINGLE-PLY MEMBRANE ROOFING.
- INSTALL ROOF FRAMES PRIOR TO CUTTING & REMOVING OF ANY METAL DECK.
- ROOF TOP WALKWAYS:
 - PRECAST CONCRETE WALKWAY PAVERS, 2'-0" X 2'-0" ON SINGLE-PLY MEMBRANE SEE DETAIL A/A-XXX
 - SINGLE-PLY MEMBRANE WALK INSTALLED IN ACCORDANCE WITH ROOFING REQUIREMENTS. SEE DETAIL X/A-A-XX (SIZE RECOMMENDED BY MANUFACT.)
- R.S. - ROOF SUMP
- H.P. - HIGH POINT
- O.S. - OVERFLOW ROOF SUMP
- S.C. - SCUPPER
- V.T.A. - VENT THRU ROOF



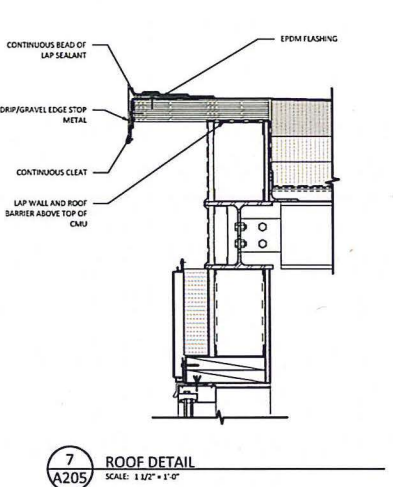
4 ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



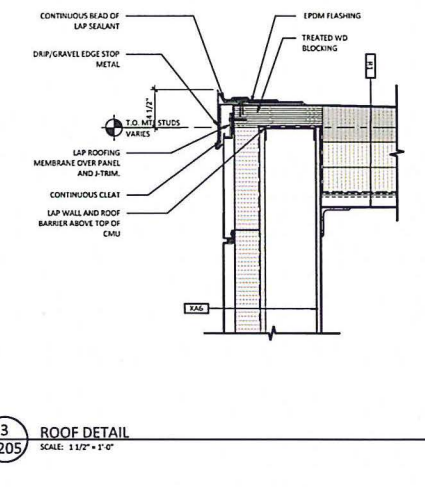
5 ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



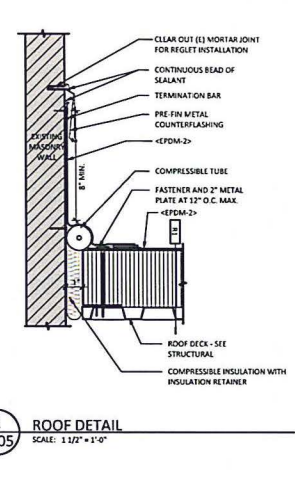
6 ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



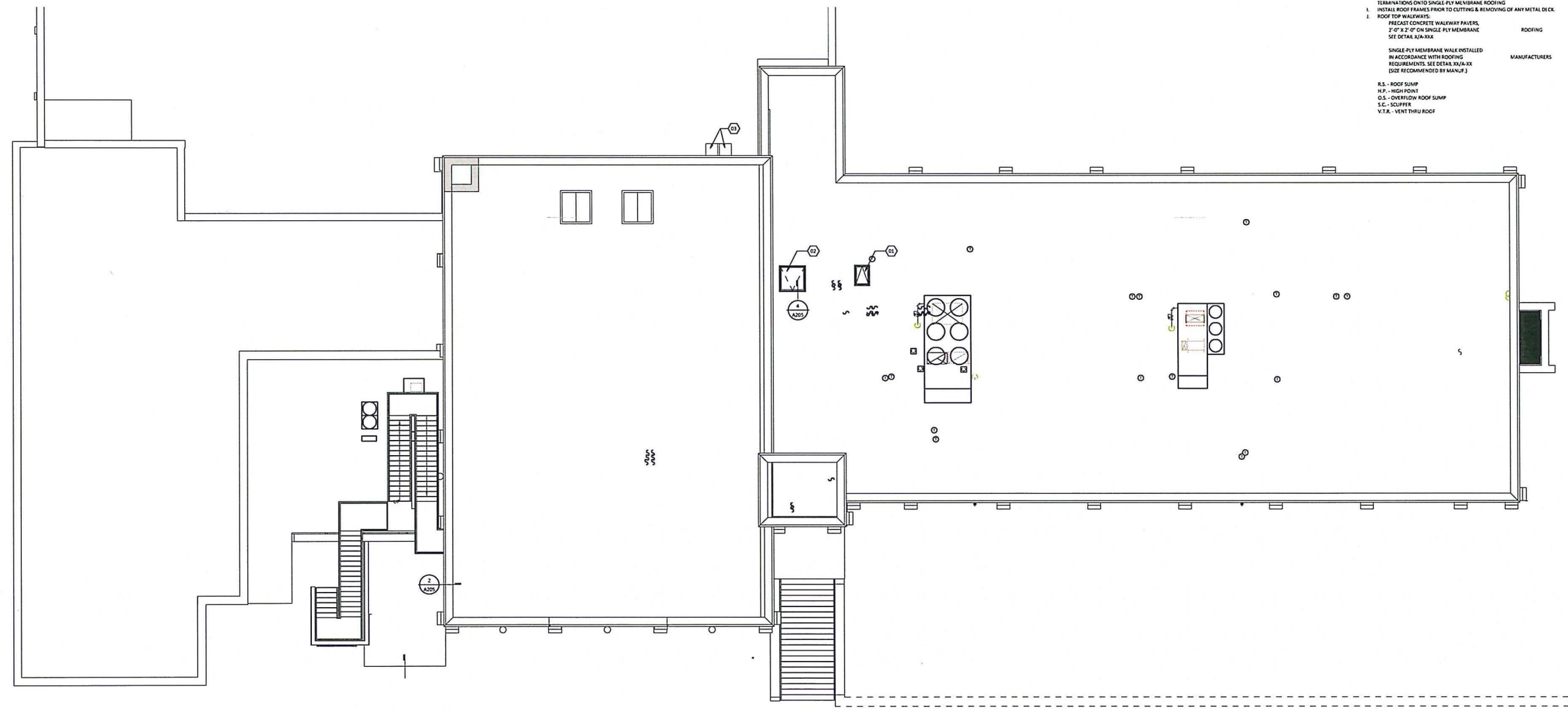
7 ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



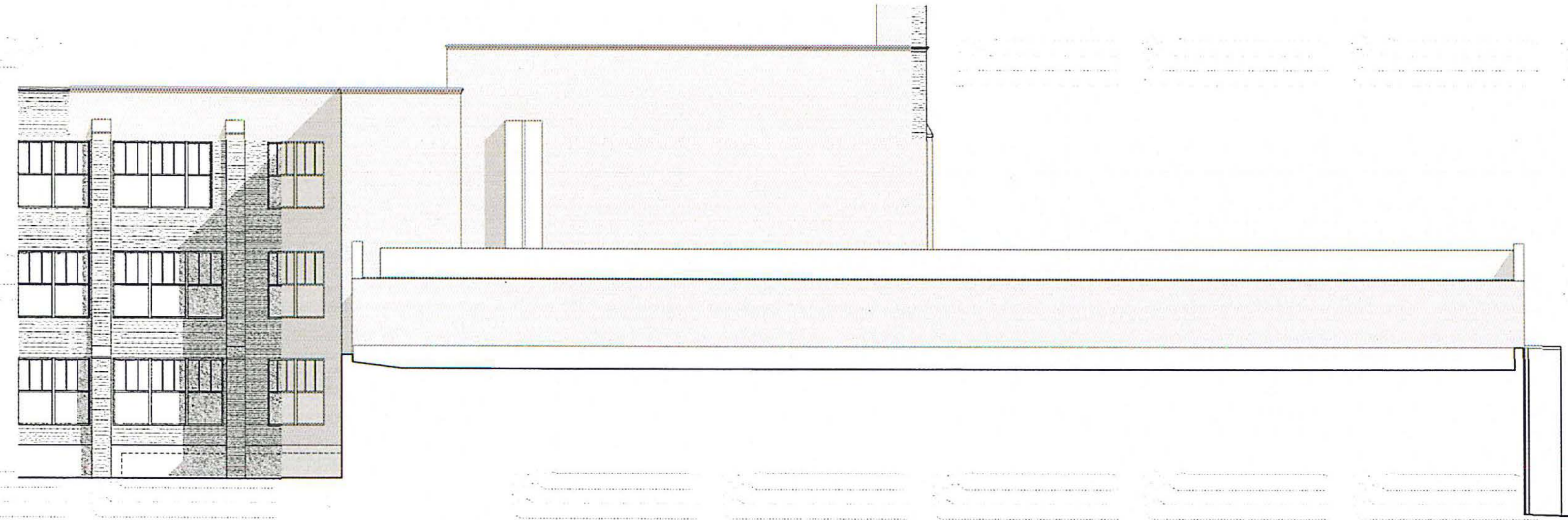
3 ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



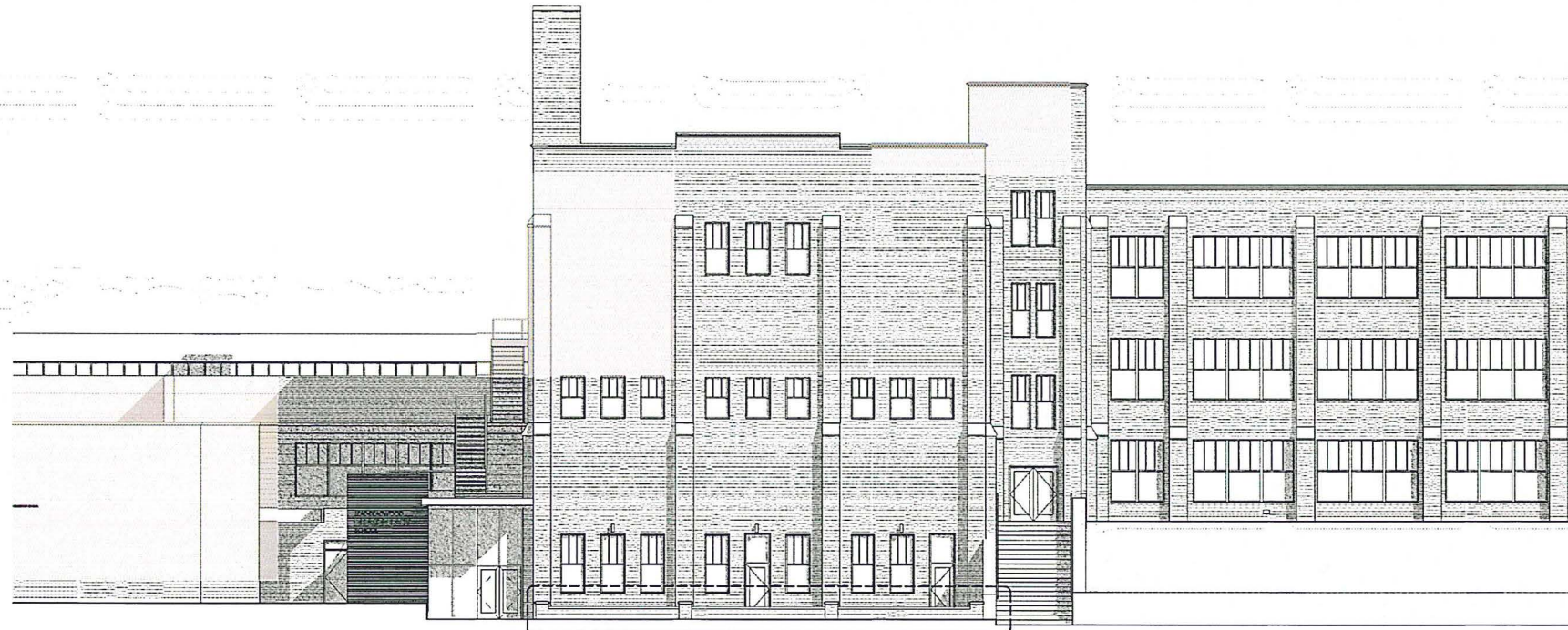
2 ROOF DETAIL
SCALE: 1 1/2" = 1'-0"



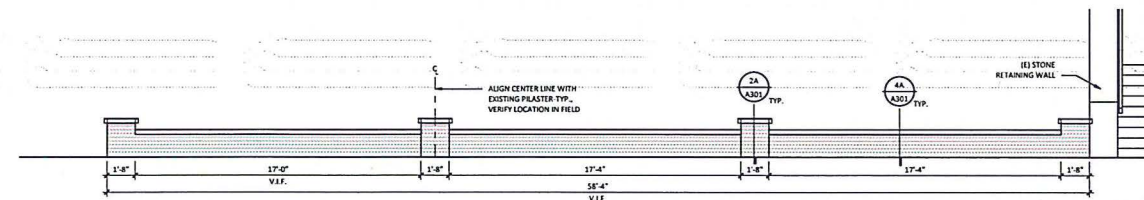
1 ROOF PLAN
SCALE: 1/8" = 1'-0"



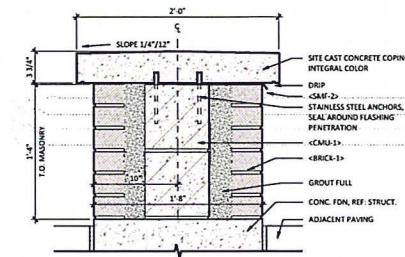
7D
A301
PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



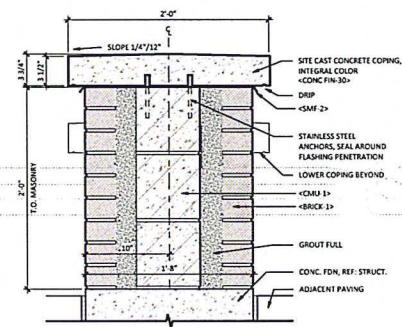
7B
A301
PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



7A
A301
ALT#1 - ENLARGED WEST ELEV
SCALE: 1/8" = 1'-0"



4A
A301
PATIO WALL LOW SECTION
SCALE: 1/32" = 1'-0"



2A
A301
WALL SECTION
SCALE: 1/32" = 1'-0"

SHEET MATERIAL ID LIST	
MATERIAL ID	SPEC SECTION & DESCRIPTION
BRICK-1	04 2000 - FACE BRICK
CMU-1	04 2000 - NORMAL WEIGHT CMU
CONC FIN-30	03 3000 - COLORED CONCRETE
SMP-2	07 6200 - PREFINISHED ALUMINUM FLASHING

EXT. ELEVATIONS KEYNOTE	
KEYNOTE	DESCRIPTION

EXT. ELEVATION GENERAL NOTES

A. REFER TO GLAZING ELEVATIONS FOR STOREFRONT AND CURTAINWALL ELEVATIONS



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LEAD-DEADWOOD SCHOOL DISTRICT
Lead Deadwood Elementary Renovation
DEADWOOD, SD

DATE
09/04/18
PROJECT
CD-95%

PROJECT
161808

SHEET
A301
EXTERIOR
ELEVATIONS

Date: September 11, 2018

Case No. 180265
Address: 97 Forest Avenue

EXHIBIT I

Staff Report

The applicant has submitted an application for Project Approval for work at 97 Forest Avenue, a Contributing structure located in the Forest Hill Planning Unit in the City of Deadwood.

Applicant: David Herdt
Owner: HERDT, DAVID W
Constructed: 1893

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to repair the foundation.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion:

It is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. Staff will coordinate with the contractor and owner throughout the project especially since they have applied for the foundation program.

[imagerepeater]

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

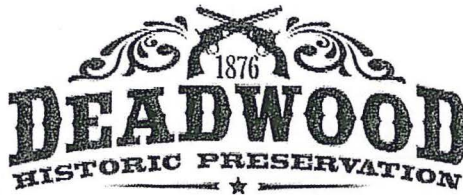
Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180265
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	8/27/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 97 Forest Ave Deadwood S.D.

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is: ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other

Owner's Name: David Herdt
Address: 97 Forest Ave
City: Deadwood State: SD Zip: 57732
Telephone: 307 331 1667 Fax:
E-mail: daveherdt@gmail.com

Architect's Name:
Address:
City: State: Zip:
Telephone: Fax:
E-mail:

Contractor's Name: Julian Brown Eyes
Address: 1765 225th St
City: Rapid City State: SD Zip: 57701
Telephone: 605 381 4187 Fax:
E-mail: compmason@gmail.com

Agent's Name:
Address:
City: State: Zip:
Telephone: Fax:
E-mail:

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Re-Roofing | <input type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting |
| <input type="checkbox"/> General Maintenance | <input type="checkbox"/> Siding | <input type="checkbox"/> Windows | <input type="checkbox"/> Fencing |
| <input checked="" type="checkbox"/> Other Foundation | <input type="checkbox"/> Awning | <input type="checkbox"/> Sign | |

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>?</u>		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____			
<input checked="" type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Foundation Repair is needed for the home. Rotten boards for the structure are in need of repair

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 8-27-18

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Date: September 10, 2018

Case No. 180267
Address: 75 Denver Avenue

EXHIBIT J

Staff Report

The applicant has submitted an application for Project Approval for work at 75 Denver Avenue, a Contributing structure located in the City Creek Planning Unit in the City of Deadwood.

Applicant: Francis and Eileen Iverson
Owner: IVERSON, FRANCIS L & EILEEN
Constructed: 1880

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. This is an early Deadwood house which was remodeled during the pre-World War II years; consequently, it has historic associations with both Deadwood's nineteenth-century mining boom and the region's mining revival of the late 1920s and 1930s. This house displays architectural elements which were popular during the latter period. In Deadwood, as elsewhere in the United States, residential remodels commonly borrowed from the then popular Craftsman Style. Other remodels copy traditional forms seen in the "Picturesque Revival" styles.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to repair or replace the rafters on the low sloping roof to increase roof load and provide roof ventilation and rebuild the exterior stairs from the house to the street.

Attachments: No

Plans: Yes

Photos: Yes

Staff Opinion:

It is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. Staff will coordinate with the owner on this project especially since it is in the elderly resident program.

[imagerepeater]

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF
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HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180267
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	8/17/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>75 Denver Ave</u>
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Francis & Eileen Iverson</u>
Address: <u>75 Denver Ave</u>
City: <u>Deadwood</u> State: <u>S.D.</u> Zip: <u>57732</u>
Telephone: <u>605-920-3842</u> Fax: _____
E-mail: <u>fiverson@spe-nidco.net</u>

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: <u>Gary Emmett Construction</u>
Address: _____
City: <u>White</u> State: <u>S.D.</u> Zip: _____
Telephone: <u>605-690-1997</u> Fax: <u>605-629-2381</u>
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input checked="" type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	
<input type="checkbox"/> Other <u>Exterior Stairs</u>	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	<input type="checkbox"/> Fencing

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input checked="" type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input checked="" type="checkbox"/> ROOF	<input type="checkbox"/> New	<input checked="" type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Repair or replace rafters on low sloping roof to increase roof load and provide roof ventilation.
Rebuild exterior stairs from street to house, rotted wood
Help pay for re roofing of house.

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)

DATE _____

DATE _____

SIGNATURE OF OWNER(S)

DATE _____

DATE _____

DATE _____

DATE _____

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The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

West

Add rafters to greater pitch to increase load and provide ventilation to attic. As per contractor recommendations.

existing 9" in 12" pitch

vents

street

Roof to be repaired, not visible from street

existing 3" in 12" pitch

Air Flow

Attic

plate

Existing 2x6 rafters insulated with no ventilation

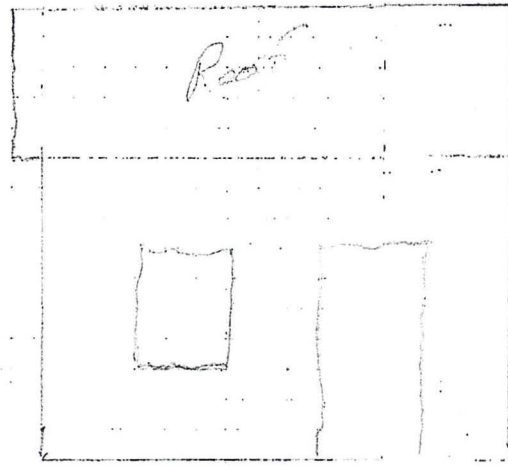
South

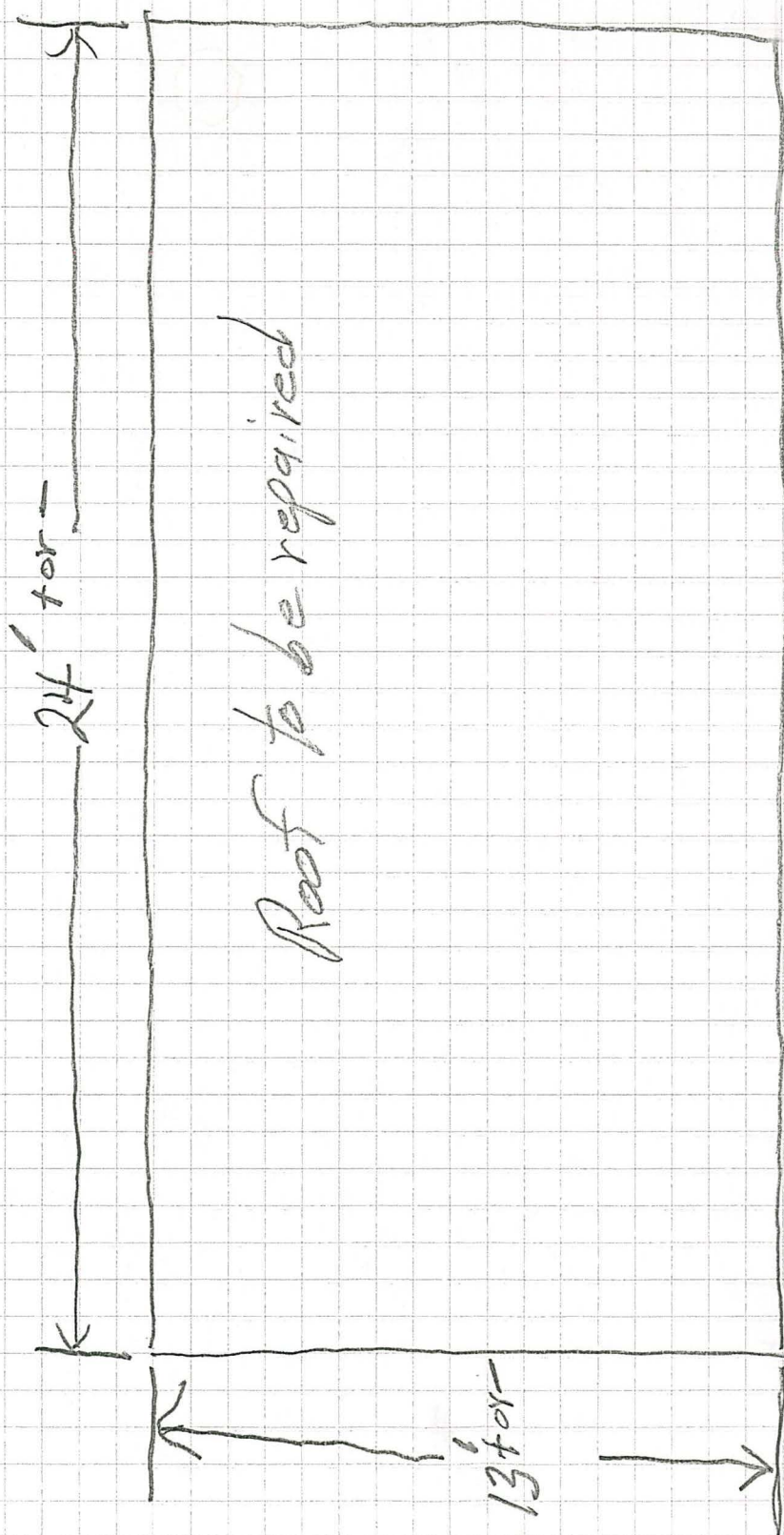
North

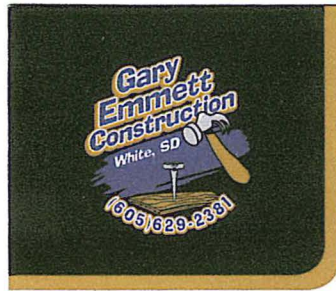
Porch

East Exposure

Roof







GARY
605.690.1977

JOSH
605.690.1970

JASON
650.690.2880

NEW CONSTRUCTION • SIDING • ROOFING

Date: September 10, 2018

Case No. 180268
Address: 15 Madison

EXHIBIT K

Staff Report

The applicant has submitted an application for Project Approval for work at 15 Madison, a Contributing structure located in the Ingleside Planning Unit in the City of Deadwood.

Applicant: Gary Herdt
Owner: HERDT, GARY L & DEE ANN
Constructed: 1898

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom. This house has some modern alterations to the front.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to repair/replace windows, storm windows, and front door.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion:

It is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. Staff will continue to coordinate with the owner and contractor especially since they are in the Windows and Doors Program.

[imagerepeater]

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

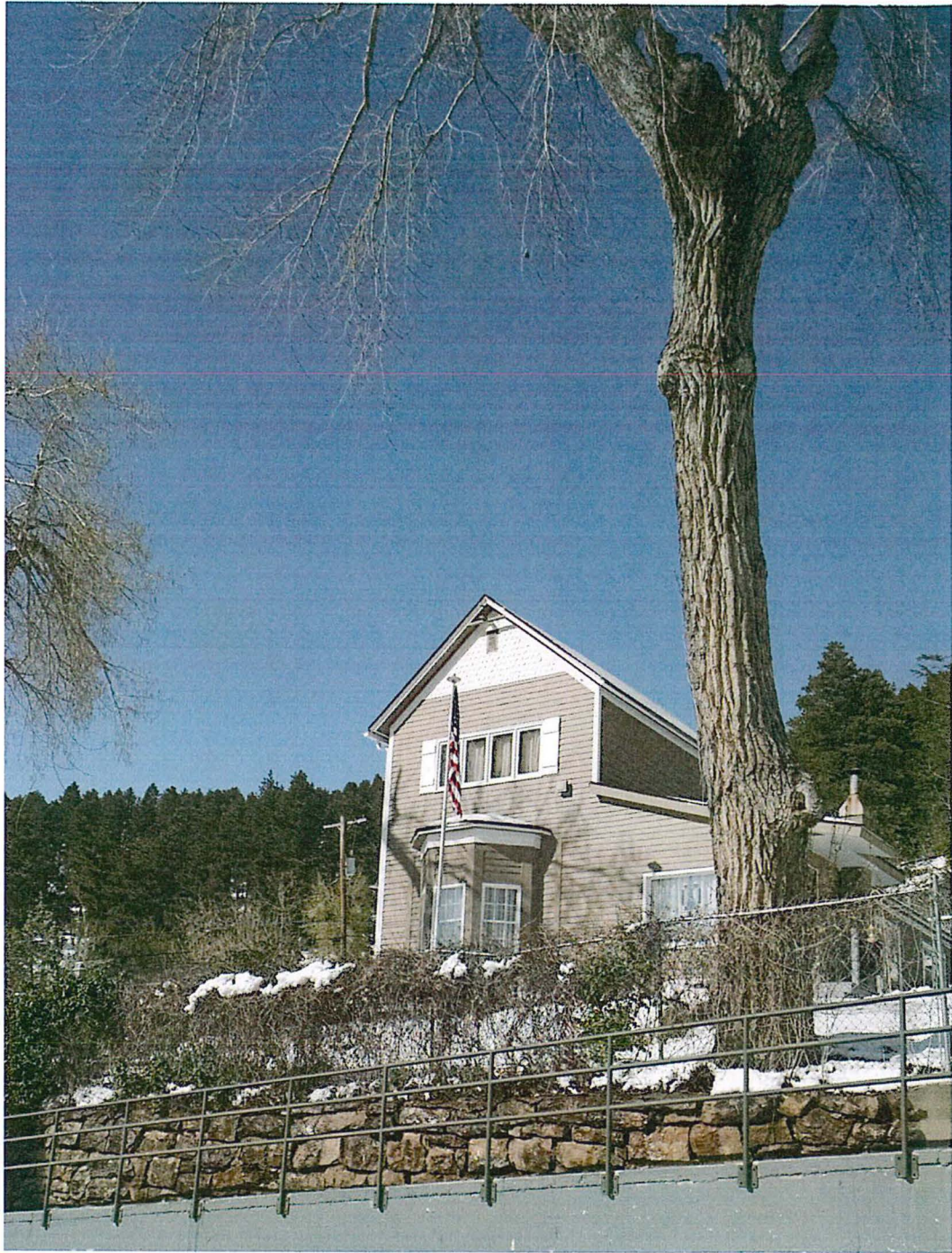
Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

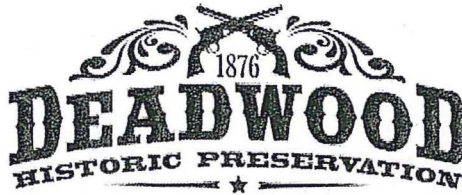
Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	<u>180268</u>
<input type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	<u>8/17/18</u>
Date of Hearing	<u>9/12/18</u>

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 15 Madison St.

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is: ☐ owner ☐ contractor ☐ architect ☐ consultant ☐ other _____

Owner's Name: Gary Herdt
Address: 15 Madison St.
City: Deadwood State: SD Zip: 57732
Telephone: 307-578-2686 Fax: _____
E-mail: backinwp@gmail.com

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Re-Roofing | <input type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting |
| <input type="checkbox"/> General Maintenance | <input type="checkbox"/> Siding | <input type="checkbox"/> Windows | |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Awning | <input type="checkbox"/> Sign | <input type="checkbox"/> Fencing |

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

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Failure to supply adequate documentation could result in delays in processing and denial of the request.

Repair / Replace windows, Replace Storm windows
and repair front door.

SIGNATURES

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Tony Heist 8-17-18
SIGNATURE OF OWNER(S) DATE

[Signature] 8-17-18
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Date: September 10, 2018

Case No. 180273
Address: 270 Main Street

EXHIBIT L

Staff Report

The applicant has submitted an application for Project Approval for work at 270 Main Street, a Non-contributing structure located in the Fountain City Planning Unit in the City of Deadwood.

Applicant: Mike Gustafson
Owner: GUSTAFSON, APRIL & MICHAEL JR
Constructed: 1990

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

The motel associated with this project site cannot contribute to the Deadwood National Historic Landmark District at this time because it is currently less than 50 years old. The proposed project site is located in the Fountain City Planning Unit of the State and National Historic Register Districts and the Deadwood National Historic Landmark District. This area of Fountain City has been dramatically altered with hillside cuts, new construction and grade changes over the past several years.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to construct a 24' x 48' steel storage shed.

Attachments: No

Plans: No

Photos: No

Staff Opinion:

This 24'x48' steel constructed storage building is up the draw and out of sight from the general public and right-of-way within the National Historic Landmark District. Therefore, it is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

[imagerepeater]

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

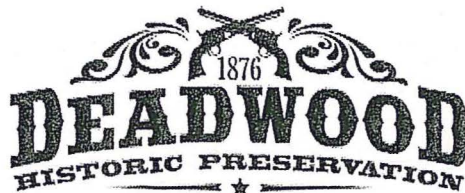
OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.

OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180213
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	8/27/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>270 Main St.</u>
Historic Name of Property (if known): <u>None</u>

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> Owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>Mike Gustafson</u>
Address: <u>270 Main St.</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-578-9277</u> Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: <u>Rob Johnson</u>
Address: _____
City: <u>Sparks</u> State: <u>SD</u> Zip: <u>57783</u>
Telephone: <u>641-0393</u> Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input checked="" type="checkbox"/> New Construction	<input checked="" type="checkbox"/> New Building	<input type="checkbox"/> Addition
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Siding	<input type="checkbox"/> Wood Repair
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Windows	<input type="checkbox"/> Sign
			<input type="checkbox"/> Accessory Structure
			<input type="checkbox"/> Exterior Painting
			<input type="checkbox"/> Fencing

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>8-27-18</u>		Project Completion Date (anticipated): <u>Dec. 30, 18</u>	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> Residential <input type="checkbox"/> Other _____			
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input checked="" type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<u>24 x 48</u>			
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Steel Storage Shed

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Mike Gustafson 8-27-18 By Jerry Anderson 8-27-18
SIGNATURE OF OWNER(S) DATE SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

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STRUCTURAL NOTES

GENERAL NOTES:

1. FOUNDATION DRAWINGS SHALL BE USED IN CONJUNCTION WITH BUILDING MANUFACTURER DRAWINGS. CONSULT THESE DRAWINGS FOR ADDITIONAL INFORMATION.
2. ALL DIMENSIONS AND CONDITIONS MUST BE VERIFIED IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE AFFECTED PART OF THE WORK.
3. THE DESIGN OF THE FOUNDATION SHOWN IN THESE CONSTRUCTION DOCUMENTS IS FOR THE ONE-TIME USE AT THE SPECIFIC SITE INDICATED IN THE DRAWINGS.
4. CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES. DO NOT DAMAGE UTILITIES TO REMAIN.
4. ALBERTSON ENGINEERING HAS PROVIDED FOUNDATION DESIGN ONLY. BUILDING DESIGN AND ATTACHMENT OF BUILDING TO FOUNDATION IS BY OTHERS.

DESIGN CODES:

- 2012 INTERNATIONAL BUILDING CODE.
- ACI 318-11 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE AND COMMENTARY.

DESIGN LOADS:

THE STRUCTURAL SYSTEM FOR THIS BUILDING HAS BEEN DESIGNED WITH THE FOLLOWING SUPERIMPOSED LOADINGS:

DEAD: 20 psf
ROOF SNOW: 40 psf

DESIGN SOIL PARAMETERS:

FOUNDATIONS ARE DESIGNED FOR AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 2000PSF ON EXISTING SOILS.

CONCRETE AND REINFORCING PLACEMENT:

1. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 301 AND ACI 117 EXCEPT AS MODIFIED BELOW:

ACI 117 ITEM 4.3.1.1

ELEVATIONS OF SLABS-ON-GRADE TOP OF SLAB ELEVATION SHALL BE WITHIN A 1/4" ENVELOPE EITHER SIDE OF THE THEORETICAL DESIGN SURFACE.

ACI 117 ITEM 4.5.7

FLOOR FINISH TOLERANCES AS MEASURED BY PLACING A TREE STANDING (UNWEIGHED) TO FT. STRAIGHT EDGE ANYWHERE ON THE SLAB AND ALLOWING IT TO REST UPON TWO HIGH SPOTS WITHIN 20 DAYS AFTER SLAB CONCRETE PLACEMENT. THE GAP AT ANY POINT BETWEEN THE STRAIGHT EDGE AND THE FLOOR SHALL NOT EXCEED 1/4".

2. ALL REINFORCING STEEL TO BE ASTM A615, GRADE 60 (#4 AND LARGER), EXCEPT WHERE NOTED OTHERWISE. REINFORCING SHALL NOT BE WELDED.

3. ALL REINFORCING STEEL BARS TO BE DETAILED AND PLACED IN ACCORDANCE WITH THE LATEST ACI MANUALS.

4. LAP ALL REINFORCING SPLICES IN CONCRETE A MINIMUM OF 48 BAR DIAMETERS OR 24 INCHES, WHICHEVER IS GREATER, UNLESS NOTED OTHERWISE ON DRAWINGS (CLASS B SPLICE).

5. PROVIDE CORNER BARS OF SAME BAR DIAMETER AS SPECIFIED FOR THE WALL, BEAM OR FOOTING. PROVIDE MINIMUM OF 40 BAR DIAMETER LAP FOR ALL CORNER BARS, UNLESS NOTED OTHERWISE.

6. PROVIDE FOUNDATION DOWELS AS SHOWN. MINIMUM SIZE DOWELS TO BE #5, UNLESS OTHERWISE NOTED. ALL VERTICAL REINFORCING STEEL IN RETAINING WALLS SHALL BE DOWELED INTO FOOTINGS WITH THE SAME SIZE AND QUANTITY DOWEL AS THE VERTICAL REINFORCING.

7. REINFORCING STEEL SHALL RECEIVE CONCRETE COVER AS FOLLOWS:

DESCRIPTION	MINIMUM COVER
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
EXPOSED TO EARTH OR WEATHER	
#8 THROUGH #18 BARS	2"
#5 BARS OR SMALLER	1 1/2"
NOT EXPOSED TO EARTH OR WEATHER OR IN CONTACT WITH THE GROUND, SLABS AND WALLS	
#11 BARS OR SMALLER	1 1/4"
#14 AND #18	1 1/2"
BEAMS AND COLUMNS	1 1/2"

9. COLD WEATHER AND HOT WEATHER PROVISIONS OF ACI 308 AND 305 (CURRENT EDITIONS), RESPECTIVELY, SHALL BE MAINTAINED.

CONCRETE MIX DESIGN:

1. SHALL BE MIX DESIGNED BY A RECOGNIZED TESTING LABORATORY TO ACHIEVE A STRENGTH AT 28 DAYS AS LISTED BELOW WITH A PLASTIC AND WORKABLE MIX.

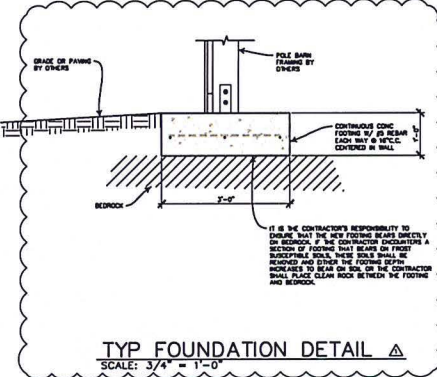
4,000 psi - ALL CONCRETE

2. SUBMIT PROPOSED MIX DESIGN WITH RECENT FIELD CYLINDER OR LAB TESTS FOR REVIEW PRIOR TO USE. MIX SHALL BE UNQUOTEDLY IDENTIFIED BY MIX NUMBER OR OTHER POSITIVE IDENTIFICATION. CONCRETE SHALL COMPLY WITH ALL THE REQUIREMENTS OF ASTM STANDARD C94 FOR MEASURING, MIXING, TRANSPORTING, ETC. CONCRETE TICKETS SHALL BE TIME STAMPED WHEN CONCRETE IS BATCHED. THE MAXIMUM TIME ALLOWED FROM THE TIME THE MIXING WATER IS ADDED UNTIL IT IS DEPOSITED IN ITS FINAL POSITION SHALL NOT EXCEED ONE AND ONE HALF (1-1/2) HOURS. IF FOR ANY REASON THERE IS A LONGER DELAY THAN STATED ABOVE, THE CONCRETE SHALL BE DISCARDED. IT SHALL BE THE RESPONSIBILITY OF THE TESTING LAB TO NOTIFY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR OF ANY NONCOMPLIANCE WITH THE ABOVE. ALL SLABS SHALL BE CURED USING CURING COMPOUND MEETING ASTM STANDARD C309 TYPE 1 AND SHALL HAVE A FUGITIVE DYE. THE COMPOUND SHALL BE PLACED AS SOON AS THE FINISHING IS COMPLETED OR AS SOON AS THE WATER HAS LEFT THE UNFINISHED CONCRETE. ALL SCUTED OR BROKEN AREAS IN THE CURING MEMBRANE SHALL BE RECOATED DAILY. CALCIUM CHLORIDES SHALL NOT BE UTILIZED. OTHER ADMIXTURES MAY BE USED ONLY WITH THE APPROVAL OF THE ENGINEER.
3. CONCRETE SHALL UTILIZE TYPE I/II CEMENT.

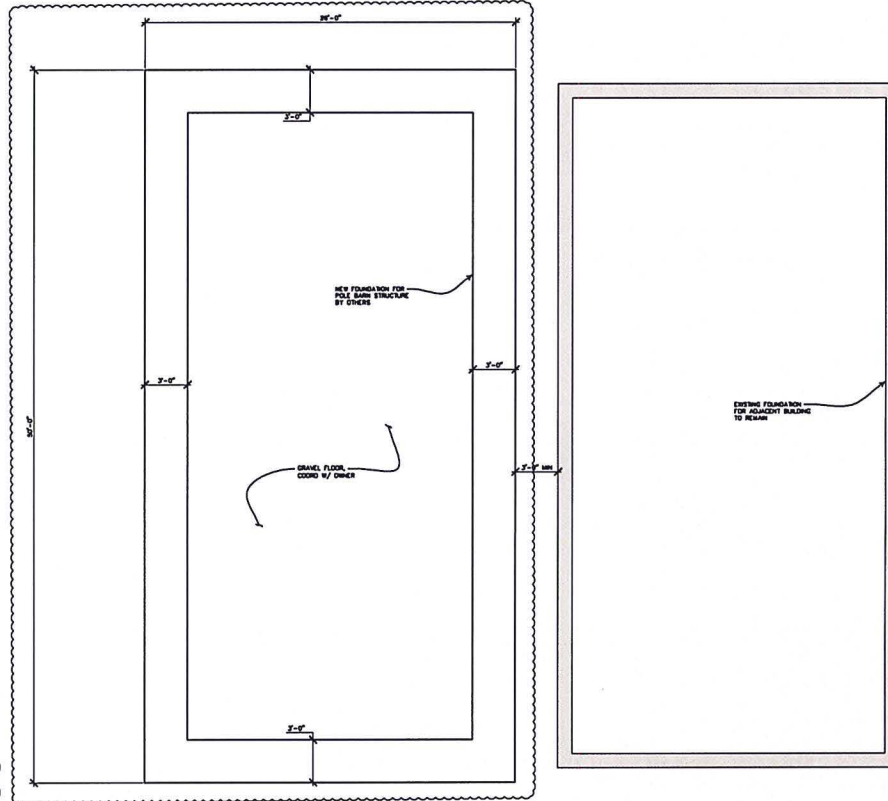
4. THE CONCRETE STRENGTHS SHOWN IN THE SECTION ABOVE AND IN THE SPECIFICATIONS ARE MINIMUM COMPRESSIVE STRENGTHS. THE ENGINEER SHALL DETERMINE IF THE CONCRETE IS ACCEPTABLE OR TO BE REWORKED, OR TO RECEIVE SPECIAL CURING IF THE COMPRESSIVE STRENGTHS ARE LESS THAN SPECIFIED.
5. ALL CONCRETE EXPOSED TO WEATHER OR EARTH SHALL BE AIR ENTRAINMENT TO 25 TO 7.5.

6. WATER REDUCING AGENTS MAY BE USED IN THE CONCRETE MIX. PLASTICIZERS AND SUPER-PLASTICIZERS MAY BE USED ONLY WHEN WRITTEN PERMISSION OF THE ENGINEER IS GIVEN.
7. NO SALTS OF ANY KIND MAY BE USED IN CONCRETE BEFORE OBTAINING THE ENGINEER'S WRITTEN PERMISSION FOR THEIR USE.

8. MAXIMUM WATER TO CEMENTITIOUS MATERIAL RATIO FOR ALL CONCRETE SHALL NOT EXCEED 0.5.



TYP FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



TYP RETAINING WALL 3'-0" OR LESS
SCALE: 1/4" = 1'-0"

FIRST GOLD STORAGE BUILDING FOUNDATION
DEADWOOD, SOUTH DAKOTA

DATE: 06-27-2018
DRAWN BY: JDS
CHECKED BY: JDS
STRUCTURAL NOTES & RETAINING WALL SECTIONS



NO.	DATE	REVISION
1	07/19/18	JDS

3323 W. MAIN, SUITE C
RAPID CITY, SOUTH DAKOTA 57702
605-343-5606
Albertson Engineering Inc.

QUOTE NUMBER # B18806314

DATE 06/07/18 PAGE 1



Ryan Stulc
666 Howard St
Rapid City, SD 57701
PH: 1-605-341-1669
Cell 1-605-390-7583
Fax: 1-605-341-2755

JOB NAME:	1ST CHOICE / 1ST GOLD		
MODEL:	(23&2) 6/12 2' OC		
JOB CATEGORY:	ROOF	ORDER #	
PRODUCT TYPE:	Commercial	ORDER DATE	//
CONTACT:	Jim	CUSTOMER PO #	
LOADING:		DELIVERY DATE	//
HEEL HEIGHT	00-05-07	SALES REP	Ryan Stulc
GABLE STUDS	30 IN. OC	DESIGNER	Les Heard

<div> <div>TO</div> <div>FROM</div> </div>	BFS Spearfish #670 203 W. Hudson St. Spearfish, SD 57783 (605) 642-4733 FX:(605) 642-1980	DELIVERY INSTRUCTIONS: 	
	270 MAIN ST. DEADWOOD, SD		

SPECIAL INSTRUCTIONS:
75# GROUND SNOW
GABLES DROPPED FOR 2X4 OUTLOOKERS

ROOF TRUSSES

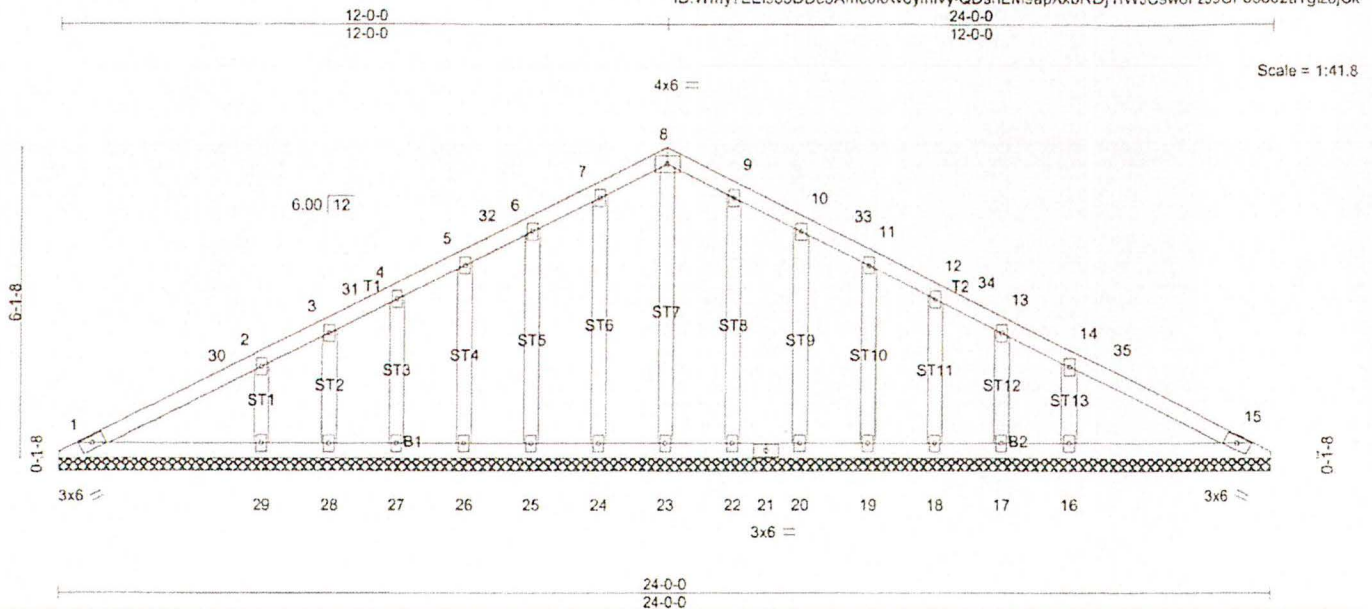
PROFILE	QTY	PITCH		HEIGHT ID	BASE SPAN	O/A SPAN	LUMBER		OVERHANG		CANTILEVER		
		TOP	BOT				TOP	BOT	LEFT	RIGHT	LEFT	RIGHT	
	23	6.00	0.00	06-09-15 R01	24-00-00	24-00-00	2 X 4	2 X 4	01-00-00	01-00-00			
	2	6.00	0.00	06-01-08 R01DG	24-00-00	24-00-00	2 X 4	2 X 4					

ACCEPTED BY: BY: _____ TITLE: _____ DATE OF ACCEPTANCE: _____		SUB-TOTAL		
		GRAND TOTAL		

*NOTE: PRICING VALID FOR 15 DAYS FROM ORIGINAL BID DATE. PLEASE VERIFY CURRENT PRICING WITH TIMBER ROOTS PRIOR TO ISSUING PURCHASE ORDER.

Job	Truss	Truss Type	Qty	Ply	1ST CHOICE / 1ST GOLD
B18806314	R01DG	GABLE	2	1	
Timberroots Truss, Mitchell, SD					

Job Reference (optional)
 8.200 s Nov 30 2017 MTek Industries, Inc. Thu Jun 7 08:25:19 2018 Page 1
 ID:Wmy?EEI933DDc3Amc6KXv8ymlyv:QDsnEM9apXxbRDj1IWJC9woFzJ9GFo5o02aYglz8jCk



LOADING (psf)	SPACING-	CSI.	DEFL.	PLATES	GRIP
TCLL 69.3	2'-0'-0	TC 0.25	in (loc) l/defl L/d	MT20	169/123
(Ground Snow=75.0)	Plate Grip DOL 1.15	BC 0.17	Vert(LL) n/a - n/a 999		
TCDL 10.0	Lumber DOL 1.15	WB 0.19	Vert(TL) n/a - n/a 999		
BCLL 0.0 *	Rep Stress Incr YES	Matrix-SH	Horz(TL) 0.00 15 n/a n/a		
BCDL 10.0	Code IRC2009/TPI2007				
				Weight: 101 lb	FT = 10%

LUMBER-	BRACING-
TOP CHORD 2x4 SPF 1650F 1.5E	TOP CHORD Structural wood sheathing directly applied or 6'-0'-0 oc purlins.
BOT CHORD 2x4 SPF 1650F 1.5E	BOT CHORD Rigid ceiling directly applied or 10'-0'-0 oc bracing.
OTHERS 2x4 SPF-S Stud	

REACTIONS. All bearings 24'-0'-0.
 (lb) - Max Horz 1=-57(LC 7)
 Max Uplift All uplift 100 lb or less at joint(s) 25, 26, 27, 28, 29, 20, 19, 18, 17, 16
 Max Grav All reactions 250 lb or less at joint(s) 23, 28, 17 except 1=276(LC 1), 15=276(LC 1), 24=313(LC 2),
 25=308(LC 2), 26=299(LC 2), 27=311(LC 2), 29=682(LC 1), 22=313(LC 3), 20=308(LC 3), 19=299(LC 3),
 18=311(LC 3), 16=682(LC 1)

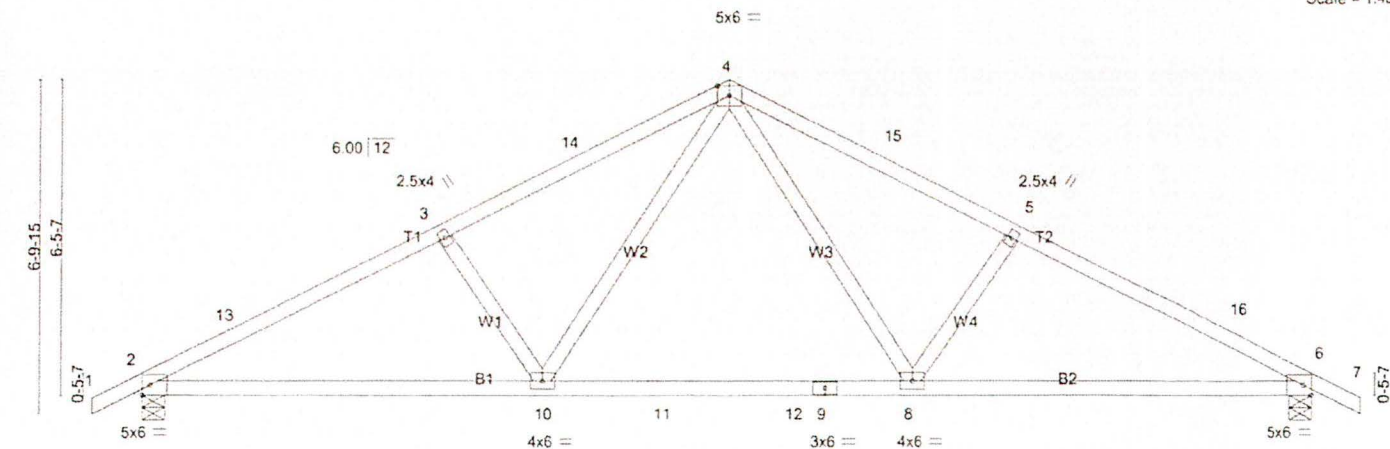
FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
 WEBS 7-24=-286/32, 6-25=-280/40, 5-26=-277/24, 4-27=-266/28, 2-29=-532/83, 9-22=-285/32,
 10-20=-280/40, 11-19=-277/24, 12-18=-266/28, 14-16=-532/83

- NOTES-
- 1) Wind: ASCE 7-05; 90mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) 0-4-7 to 3-4-7, Interior(1) 3-4-7 to 12-0-0, Exterior(2) 12-0-0 to 15-0-0 zone; cantilever left and right exposed, end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
 - 2) Truss designed for wind loads in the plane of the truss only. For studs exposed to wind (normal to the face), see Standard Industry Gable End Details as applicable, or consult qualified building designer as per ANSI/TPI 1.
 - 3) TCLL: ASCE 7-05; Pg=75.0 psf (ground snow); Ps=69.3 psf (roof snow); Category II; Exp B; Sheltered; Ct=1.1
 - 4) Roof design snow load has been reduced to account for slope.
 - 5) Unbalanced snow loads have been considered for this design.
 - 6) All plates are 2.5x4 MT20 unless otherwise indicated.
 - 7) Gable requires continuous bottom chord bearing.
 - 8) Gable studs spaced at 1'-4'-0 oc.
 - 9) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 10) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3'-6'-0 tall by 2'-0'-0 wide will fit between the bottom chord and any other members.
 - 11) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 25, 26, 27, 28, 29, 20, 19, 18, 17, 16.
 - 12) This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

LOAD CASE(S) Standard

Job	Truss	Truss Type	Qty	Ply	1ST CHOICE / 1ST GOLD
B18806314	R01	FINK	23	1	
Timberroots Truss, Mitchell, SD					
Job Reference (optional)					
8/200 s Nov 30 2017 M Tek Industries, Inc. Thu Jun 7 08:25:18 2016 Page 1					
ID:Wmy?EEI933DDc3Amc6kXv8ymly-y1IP008x2Dokp38rkpczdjGw?vg_WF4foOq?7Jz8jCl					
-1-0-0	6-2-0	12-0-0	17-10-0	24-0-0	25-0-0
1-0-0	6-2-0	5-10-0	5-10-0	6-2-0	1-0-0

Scale = 1:43.3



LOADING (psf)		SPACING		CSI		DEFL.		PLATES		GRIP	
TCLL	69.3	2-0-0		TC	0.84	in (loc)	l/defl	L/d	MT20	169/123	
(Ground Snow=75.0)		Plate Grip DOL	1.15	BC	0.75	Vert(LL)	-0.26 8-10 >999	360			
TCDL	10.0	Lumber DOL	1.15	WB	0.69	Vert(TL)	-0.37 8-10 >772	240			
BCLL	0.0	Rep Stress Incr	YES	Matrix-SH		Horz(TL)	0.11 6 n/a	n/a			
BCDL	10.0	Code IRC2009/TPI2007				Wind(LL)	0.04 2-10 >999	240			
								Weight 81 lb		FT = 10%	

LUMBER-
TOP CHORD 2x4 SPF 2100F 1.8E
BOT CHORD 2x4 SPF 1650F 1.5E
WEBS 2x4 SPF-S Stud

BRACING-
TOP CHORD Structural wood sheathing directly applied or 2-2-0 oc purlins.
BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

REACTIONS. (lb/size) 2=2351/0-5-8 (min. 0-3-11), 6=2351/0-5-8 (min. 0-3-11)
Max Horz 2=57(LC 8)
Max Uplift 2=-56(LC 9), 6=-56(LC 10)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-13=-3755/45, 3-13=-3560/76, 3-14=-3225/81, 4-14=-2994/97, 4-15=-2994/97,
5-15=-3225/81, 5-16=-3560/76, 6-16=-3755/45
BOT CHORD 2-10=0/3127, 10-11=0/2110, 11-12=0/2110, 9-12=0/2110, 8-9=0/2110, 6-8=-5/3127
WEBS 3-10=-1004/114, 4-10=-2/1262, 4-8=-2/1262, 5-8=-1004/114

NOTES-

- 1) Wind: ASCE 7-05; 90mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) -1-0-0 to 2-0-0, Interior(1) 2-0-0 to 12-0-0, Exterior(2) 12-0-0 to 15-0-0 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
- 2) TCLL: ASCE 7-05; Pg=75.0 psf (ground snow); Ps=69.3 psf (roof snow); Category II; Exp B; Sheltered; Ct=1.1
- 3) Roof design snow load has been reduced to account for slope.
- 4) Unbalanced snow loads have been considered for this design.
- 5) This truss has been designed for greater of min roof live load of 16.0 psf or 1.00 times flat roof load of 69.3 psf on overhangs non-concurrent with other live loads.
- 6) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
- 7) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
- 8) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 6.
- 9) This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.

LOAD CASE(S) Standard

Date: September 10, 2018

Case No. 180275
Address: 786 Main Street

EXHIBIT M

Staff Report

The applicant has submitted an application for Project Approval for work at 786 Main Street, a Contributing structure located in the Upper Main Planning Unit in the City of Deadwood.

Applicant: Jim Otteson
Owner: OTTESON, JAMES A & JORI L
Constructed: c 1900

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to re-roof with same materials and repaint trim same color.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion:

It is staff's opinion that although the existing roof is metal, it is much more appropriate to be asphalt. Since the resource already has a metal roof, the proposed work and changes do not further encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. It is up to the Commission on rather to re-approve this existing metal roof.

[imagerepeater]

Motions available for commission action:**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180275
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	8/31/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address:

786 Main Street

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is: ☒ Owner ☐ contractor ☐ architect ☐ consultant ☐ other _____

Owner's Name: Jim Otteson
Address: 786 Main
City: Deadwood State: SD Zip: 57732
Telephone: 605-690-0945 Fax: _____
E-mail: _____

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|--|--------------------------------------|---|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Re-Roofing | <input type="checkbox"/> Wood Repair | <input checked="" type="checkbox"/> Exterior Painting |
| <input type="checkbox"/> General Maintenance | <input type="checkbox"/> Siding | <input type="checkbox"/> Windows | |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Awning | <input type="checkbox"/> Sign | <input type="checkbox"/> Fencing |

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input checked="" type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Like For Like white steel roof

Paint front trim on porch same green color
trim on left side to be painted the same

ALL Due To Hail Damage

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 8-31-18
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Date: September 10, 2018

Case No. 180276
Address: 36 Lincoln Avenue

EXHIBIT N

Staff Report

The applicant has submitted an application for Project Approval for work at 36 Lincoln Avenue, a Contributing structure located in the Ingelside Planning Unit in the City of Deadwood.

Applicant: Jo Roebuck-Pearson
Owner: WALSH, BILL E ETUX
Constructed: 1903

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to replace roof, windows, inappropriate storms and storm door on front and side of house.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion:

It is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

[imagerepeater]

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180276
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	8/31/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION	
Property Address:	36 LINCOLN AVENUE, DEADWOOD, S.D. 57732
Historic Name of Property (if known):	

APPLICANT INFORMATION	
Applicant is:	<input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other

Owner's Name:	Jo Roebuck-Pearson
Address:	36 LINCOLN AVE
City:	Deadwood
State:	S.D.
Zip:	57732
Telephone:	605-390-5551
E-mail:	BruceWalsh@Dakota@gmail.com

Architect's Name:	
Address:	
City:	
State:	
Zip:	
Telephone:	
Fax:	
E-mail:	

Contractor's Name:	ARMOUR ROOFING
Address:	RYAN KOLB, OWNER
City:	
State:	
Zip:	
Telephone:	605-941-9292
Fax:	
E-mail:	ROOFING@ARMOUR.com

Agent's Name:	
Address:	
City:	
State:	
Zip:	
Telephone:	
Fax:	
E-mail:	

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input checked="" type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input type="checkbox"/> Other	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential	<input type="checkbox"/> Other _____	
<input checked="" type="checkbox"/> ROOF	<input checked="" type="checkbox"/> New	<input checked="" type="checkbox"/> Re-roofing	
	<input checked="" type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input checked="" type="checkbox"/> Rear
<input checked="" type="checkbox"/> GARAGE <i>ROOF</i>	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input checked="" type="checkbox"/> WINDOWS	<input checked="" type="checkbox"/> STORM WINDOWS	<input checked="" type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input checked="" type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input checked="" type="checkbox"/> Front	<input checked="" type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Hail Storm caused massive damage to both Roofs of Historic Quenanne & Barn cum Garage as well as windows, siding (wood) & garden lattice.

The storm windows were changed to steel/metal in 40's or 50's & historic preservation window program will be hence correct restore to wooden windows.

SIGNATURES

I **HEREBY CERTIFY** I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Date: September 10, 2018

Case No. 180284
Address: 38 Van Buren Avenue

EXHIBIT

Staff Report

The applicant has submitted an application for Project Approval for work at 38 Van Buren Avenue, a Contributing structure located in the Ingleside Planning Unit in the City of Deadwood.

Applicant: Gene Hunter
Owner: HUNTER, EUGENE L
Constructed: 1897

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. Deadwood's economic prominence during the late 1800s and early 1900s was reflected by the construction of a number of large residences such as this one. These houses displayed a variety of architectural styles: Queen Anne, Second Empire, Colonial, and even Gothic variants are found locally. Together, these houses are among the strongest reminders of Deadwood's nineteenth-century boom.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to replace the buckling, cupped, split and cracked siding on the north side of the resource.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion:

It is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

[imagerepeater]

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180284
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	9/4/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 38 Van Buren, Deadwood, SD 57732

Historic Name of Property (if known): Thornby House

APPLICANT INFORMATION

Applicant is: ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other _____

Owner's Name: Gene Hunter
Address: 38 Van Buren
City: Deadwood State: SD Zip: 57732
Telephone: 605 381 9857 Fax: 605 342 6801
E-mail: fattoe340@gmail.com

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: Mark Speirs
Address: 34 Van Buren
City: Deadwood State: SD Zip: 57732
Telephone: 605 578 1179 Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|---------------------------------------|--------------------------------------|--|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Re-Roofing | <input type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting |
| <input type="checkbox"/> General Maintenance | <input type="checkbox"/> Siding | <input type="checkbox"/> Windows | <input type="checkbox"/> Fencing |
| Other Siding | <input type="checkbox"/> Awning | <input type="checkbox"/> Sign | |

FOR OFFICE USE ONLY

Case No. _____

ACTIVITY: (CHECK AS APPLICABLE)

Project Start Date: 9/15/18

Project Completion Date (anticipated): 8/31/19

☐ ALTERATION ☐ Front ☐ Side(s) ☐ Rear

☐ ADDITION ☐ Front ☐ Side(s) ☐ Rear

☐ NEW CONSTRUCTION ☐ Residential ☐ Other _____

☐ ROOF ☐ New ☐ Re-roofing
☐ Front ☐ Side(s) ☐ Rear

☐ GARAGE ☐ New ☐ Rehabilitation
☐ Front ☐ Side(s) ☐ Rear

☐ FENCE/GATE ☐ New ☐ Replacement
☐ Front ☐ Side(s) ☐ Rear

Material _____ Style/type _____ Dimensions _____

☐ WINDOWS ☐ STORM WINDOW ☐ DOORS ☐ STORM DOORS
☐ Restoration ☐ Replacement ☐ New
☐ Front ☐ Side(s) ☐ Rear

Material _____ Style/type _____

☐ SIGN/AWNING ☐ New ☐ Restoration ☐ Replacement

Material _____ Style/type _____ Dimensions _____

☒ OTHER—Describe in detail below or use attachments Siding replacement North Side

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

Replace buckling, cupped, split and cracked siding on the north side of home. Recent hail storms added dimples and cause peeling paint

FOR OFFICE USE ONLY

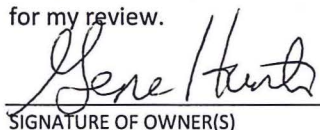
Case No. _____

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

 8/30/18

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Date: September 10, 2018

Case No. 180287
Address: 562 Williams Street

EXHIBIT P

Staff Report

The applicant has submitted an application for Project Approval for work at 562 Williams Street, a Contributing structure located in the City Creek Planning Unit in the City of Deadwood.

Applicant: Jill and Todd Weber
Owner: WEBER, TODD R CURTIS-WEBER, JILL ANN
Constructed: c 1900

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:

1. Historic significance of the resource:

This building is a contributing resource in the Deadwood National Historic Landmark District. This is an early Deadwood house which was remodeled during the pre-World War II years; consequently, it has historic associations with both Deadwood's nineteenth-century mining boom and the region's mining revival of the late 1920s and 1930s. This house displays architectural elements which were popular during the latter period. In Deadwood, as elsewhere in the United States, residential remodels commonly borrowed from the then popular Craftsman Style. Other remodels copy traditional forms seen in the "Picturesque Revival" styles.

2. Architectural design of the resource and proposed alterations:

The applicant is request permission to replace the asphalt roof with a tin raised seam roof.

Attachments: No

Plans: No

Photos: Ye

Staff Opinion:

It is staff's opinion this resource probably never had a steel roof, however, the proposed standing seam metal roof does not not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District as it was a traditional building material of the period but may not have been too prevalent in Deadwood.

[imagerepeater]

Motions available for commission action:**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180287
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	9/4/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION

Property Address: 562 Williams

Historic Name of Property (if known):

APPLICANT INFORMATION

Applicant is: ☒ owner ☐ contractor ☐ architect ☐ consultant ☐ other _____

Owner's Name: Todd & Jill Weber
Address: 562 Williams
City: Deadwood State: SD Zip: 57732
Telephone: 702 80 8526 Fax: 702 66 0360
E-mail: The Lucky Horse LLC @ Gmail.com

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT

- | | | | |
|--|--|--------------------------------------|--|
| <input type="checkbox"/> Alteration (change to exterior) | <input type="checkbox"/> New Building | <input type="checkbox"/> Addition | <input type="checkbox"/> Accessory Structure |
| <input type="checkbox"/> New Construction | <input checked="" type="checkbox"/> Re-Roofing | <input type="checkbox"/> Wood Repair | <input type="checkbox"/> Exterior Painting |
| <input type="checkbox"/> General Maintenance | <input type="checkbox"/> Siding | <input type="checkbox"/> Windows | |
| <input type="checkbox"/> Other _____ | <input type="checkbox"/> Awning | <input type="checkbox"/> Sign | <input type="checkbox"/> Fencing |

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: <u>ASAP</u>		Project Completion Date (anticipated): <u>2019</u>	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input checked="" type="checkbox"/> ROOF	<input checked="" type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<u>Req. For TIN RAISED Seam Roof</u>			
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.

Failure to supply adequate documentation could result in delays in processing and denial of the request.

We would like to ~~ADD~~ Re-DO the current ASPHALT
shingle Roof with TIN RAISED Seam Roof

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

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Date: September 10, 2018

Case No. 180290
Address: 53 Forest Avenue

EXHIBIT Q**Staff Report**

The applicant has submitted an application for Project Approval for work at 53 Forest Avenue, a Contributing structure located in the Ingelside Planning Unit in the City of Deadwood.

Applicant: Kathleen R. Lane
Owner: LANE, KATHLEEN R
Constructed: c 1885

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:**1. Historic significance of the resource:**

This building is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood grew quickly and became the first major urban center of western South Dakota. This house displays the architectural characteristics common to working-class housing in pre-World War I Deadwood. These small, vernacular cottages, typically of foursquare or T-gable plane, occasionally featured limited Queen Anne detailing. A number of these houses survive today, scattered throughout Deadwood's neighborhoods.

2. Architectural design of the resource and proposed alterations:

The applicant is requesting permission to repair deck and stairs, repaint house, and remove inappropriate shingles from back and right side of house and from the shed.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion:

It is staff's opinion the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District. This resource needs lots of work. Staff will coordinate with the applicant and contractor throughout the process to ensure the program and guidelines are met.

[imagerepeater]

Motions available for commission action:

A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:

B: First Motion:

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.



OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180290
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	9/4/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

The Deadwood Historic Preservation Commission reviews all applications. Approval is issued for proposed work in keeping with City of Deadwood Ordinances & Guidelines, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation.

This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>53 Forest Ave. Deadwood, SD 57732</u>
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other

Owner's Name: <u>Kathleen R. Lane</u>
Address: <u>53 Forest Ave.</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-0151</u> Fax: _____
E-mail: <u>KRL324@yahoo.com</u>

Architect's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

Contractor's Name: <u>Kathleen R. Lane</u>
Address: <u>53 Forest Ave.</u>
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>
Telephone: <u>605-920-0151</u> Fax: _____
E-mail: <u>KRL324@yahoo.com</u>

Agent's Name: _____
Address: _____
City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____
E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input checked="" type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input checked="" type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input checked="" type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input checked="" type="checkbox"/> Other <u>Redo + paint</u> <u>interior walls</u>	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement	<input type="checkbox"/> New
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration <input type="checkbox"/> Replacement	
Material _____ Style/type _____ Dimensions _____			
<input checked="" type="checkbox"/> OTHER – Describe in detail below or use attachments			

DESCRIPTION OF ACTIVITY

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Failure to supply adequate documentation could result in delays in processing and denial of the request.

- 1 Jack up left side of front foundation
- 2 Paint house exterior, repair deck stairs wood, paint deck stairs
- 3 Repair chimney + Replace gutters and downspout
- 4 Replace drywall in a living ceiling + Repaint
- 5 Repair walls in upstairs bathroom, install bead board + paint walls/ceiling
- 6 Spackle walls in master bedroom, paint walls + ceiling
- 7 Repair walls + paint walls + ceiling in hot water heater room
- 8 Remove inappropriate shingles from back + right side of house + shed + paint

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

Kathleen R. Paine 8/21/18
SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

SIGNATURE OF OWNER(S) DATE

SIGNATURE OF AGENT(S) DATE

APPLICATION DEADLINE

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The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

Date: September 10, 2018

Case No. 180291
Address: 25 Jackson Street

EXHIBIT R**Staff Report**

The applicant has submitted an application for Project Approval for work at 25 Jackson Street, a Contributing structure located in the Ingleside Planning Unit in the City of Deadwood.

Applicant: Jeffrey Lawler
Owner: LAWLER, JEFFREY
Constructed: c 1985

CRITERIA FOR THE ISSUANCE OF A PROJECT APPROVAL

The Historic Preservation Commission shall use the following criteria in granting or denying the Project Approval:

General Factors:**1. Historic significance of the resource:**

This is a contributing resource in the Deadwood National Historic Landmark District. It is significant for its historic association with the founding and initial period of growth of the town of Deadwood. Spurred by the tremendous mining boom of 1876, Deadwood drew quickly and became the first major urban center of western South Dakota. This house displays the architectural characteristics common to working-class housing in pre-World War I Deadwood. These small, vernacular cottages, typically of foursquare or T-gable plan, occasionally featured limited Queen Anne detailing. A number of these houses survive today, scattered throughout Deadwood's neighborhoods.

2. Architectural design of the resource and proposed alterations:

The applicant discovered an old fireplace while removing siding. Applicant would like permission to install brick chimney for a gas fireplace.

Attachments: No

Plans: No

Photos: Yes

Staff Opinion:

It is staff's opinion that the proposed work and changes do not encroach upon, damage or destroy a historic resource or have an adverse effect on the character of the building or the historic character of the State and National Register Historic Districts or the Deadwood National Historic Landmark District.

[imagerepeater]

Motions available for commission action:**A: If you, as a commissioner, have determined the Project DOES NOT Encroach Upon, Damage or Destroy a historic property then:**

Based upon all the evidence presented, I find that this project **DOES NOT** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places, and therefore move to grant a project approval.

If you, as a commissioner, have determined the Project will Encroach Upon, Damage or Destroy a historic property then:**B: First Motion:**

Based upon all the evidence presented, I move to make a finding that this project **DOES** encroach upon, damage, or destroy any historic property included in the national register of historic places or the state register of historic places. [If this, move on to 2nd Motion and choose an option.]

C: Second Motion:

Option 1: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **NOT ADVERSE** to Deadwood and move to **APPROVE** the project as presented.

OR

Option 2: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood and move to **DENY** the project as presented.

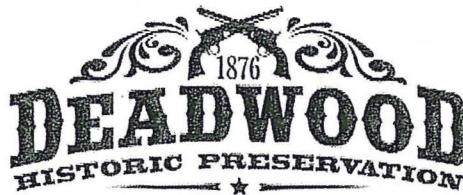
OR

Option 3: Based upon the guidance in the U.S. Department of the Interior standards for historic preservation, restoration, and rehabilitation projects adopted by rules promulgated pursuant to SDCL 1-19A & 1-19B, *et seq*, I find that the project is **ADVERSE** to Deadwood, but the applicant has explored **ALL REASONABLE AND PRUDENT ALTERNATIVES**, and so I move to **APPROVE** the project as presented.





OFFICE OF
PLANNING, ZONING AND
HISTORIC PRESERVATION
108 Sherman Street
Telephone (605) 578-2082
Fax (605) 578-2084



FOR OFFICE USE ONLY	
Case No.	180291
<input checked="" type="checkbox"/> Project Approval	
<input type="checkbox"/> Certificate of Appropriateness	
Date Received	9/5/18
Date of Hearing	9/12/18

City of Deadwood Application for Project Approval OR Certificate of Appropriateness

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This application must be typed or printed in ink and submitted to:

City of Deadwood
Deadwood Historic Preservation Office
108 Sherman Street
Deadwood, SD 57732

FOR INFORMATION REGARDING THIS FORM, CALL 605-578-2082

PROPERTY INFORMATION
Property Address: <u>25 Jackson St.</u>
Historic Name of Property (if known):

APPLICANT INFORMATION
Applicant is: <input checked="" type="checkbox"/> owner <input type="checkbox"/> contractor <input type="checkbox"/> architect <input type="checkbox"/> consultant <input type="checkbox"/> other _____

Owner's Name: <u>JEFFREY L. LACKER</u>	Architect's Name: _____
Address: <u>25 Jackson St</u>	Address: _____
City: <u>Deadwood</u> State: <u>SD</u> Zip: <u>57732</u>	City: _____ State: _____ Zip: _____
Telephone: <u>605-248-1701</u> Fax: _____	Telephone: _____ Fax: _____
E-mail: <u>jeffreylacker1963@yahoo.com</u>	E-mail: _____

Contractor's Name: <u>self</u>	Agent's Name: _____
Address: <u>To be determined</u>	Address: _____
City: _____ State: _____ Zip: _____	City: _____ State: _____ Zip: _____
Telephone: _____ Fax: _____	Telephone: _____ Fax: _____
E-mail: _____	E-mail: _____

TYPE OF IMPROVEMENT			
<input type="checkbox"/> Alteration (change to exterior)	<input type="checkbox"/> New Building	<input type="checkbox"/> Addition	<input type="checkbox"/> Accessory Structure
<input type="checkbox"/> New Construction	<input type="checkbox"/> Re-Roofing	<input type="checkbox"/> Wood Repair	<input type="checkbox"/> Exterior Painting
<input type="checkbox"/> General Maintenance	<input type="checkbox"/> Siding	<input type="checkbox"/> Windows	<input type="checkbox"/> Fencing
<input type="checkbox"/> Other _____	<input type="checkbox"/> Awning	<input type="checkbox"/> Sign	

ACTIVITY: (CHECK AS APPLICABLE)			
Project Start Date: _____		Project Completion Date (anticipated): _____	
<input type="checkbox"/> ALTERATION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> ADDITION	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> NEW CONSTRUCTION	<input type="checkbox"/> Residential <input type="checkbox"/> Other _____		
<input type="checkbox"/> ROOF	<input type="checkbox"/> New	<input type="checkbox"/> Re-roofing	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> GARAGE	<input type="checkbox"/> New	<input type="checkbox"/> Rehabilitation	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
<input type="checkbox"/> FENCE/GATE	<input type="checkbox"/> New	<input type="checkbox"/> Replacement	
	<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear
Material _____ Style/type _____ Dimensions _____			
<input type="checkbox"/> WINDOWS	<input type="checkbox"/> STORM WINDOWS	<input type="checkbox"/> DOORS	<input type="checkbox"/> STORM DOORS
<input type="checkbox"/> Restoration		<input type="checkbox"/> Replacement	<input type="checkbox"/> New
<input type="checkbox"/> Front	<input type="checkbox"/> Side(s)	<input type="checkbox"/> Rear	
Material _____ Style/type _____			
<input type="checkbox"/> SIGN/AWNING	<input type="checkbox"/> New	<input type="checkbox"/> Restoration	<input type="checkbox"/> Replacement
Material _____ Style/type _____ Dimensions _____			
<input checked="" type="checkbox"/> OTHER – Describe in detail below or use attachments <i>Please see reverse side of this sheet.</i>			

DESCRIPTION OF ACTIVITY
<p>Describe, as specifically as possible, the above activity (use attachments if necessary including type of materials to be used) and submit as applicable. Descriptive materials such as photos and drawings are necessary to illustrate the work and to help the commissioners and staff evaluate the proposed changes. A request for approval of a window replacement, for example, should be accompanied by measurements of the existing window, a picture of the existing window, and a picture or catalogue sheet with manufacturer information for the new window. Similar information should be supplied for each element of the proposed work along with general drawings and/or photographs as appropriate.</p> <p>Failure to supply adequate documentation could result in delays in processing and denial of the request.</p> <p><i>While removing siding, discovered location of old fireplace. Would like to install gas fireplace in location and BRICK exterior of chimney.</i></p>

SIGNATURES

I HEREBY CERTIFY I understand this application will not be accepted and processed until all the requested information has been supplied. I realize drawings and measurements must be exact and if errors result in a violation of the Commission's approval, then appropriate changes will have to be made. I also understand this application may require a site visit / additional research by staff and a PUBLIC HEARING by the DEADWOOD HISTORIC PRESERVATION COMMISSION.

I understand this application is for a Certificate of Appropriateness or Project Approval only and that a building permit is required for any uses associated with this location prior to any constructions, alterations, etc. All statements are true to the best of my knowledge and belief.

I understand approval is issued for proposed work in keeping with City of Deadwood Ordinances, South Dakota State Administrative Rules and the Secretary of the Interior's Standards for Rehabilitation and copies are available for my review.

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

SIGNATURE OF OWNER(S)

DATE

SIGNATURE OF AGENT(S)

DATE

APPLICATION DEADLINE

This form and all supporting documentation **MUST** arrive by 5:00 p.m. on the 1st or 3rd Wednesday of every month to be considered at the next Historic Preservation Commission Meeting. The meeting schedule and filing deadlines are on file with the Historic Preservation Office. Any information not provided to staff in advance of the meeting will not be considered by the Commission during their deliberation. Please call if you have any questions and staff will assist you.

Please use the attached criteria checklist as a guide to completing the application. Incomplete applications cannot be reviewed and will be returned to you for more information. All submitted materials will be retained by the Historic Preservation Office. Do not submit your only copy of any piece of documentation.

The City of Deadwood Historic Preservation Office has numerous resources available for your assistance upon request.

July and August 2018 City Archives Monthly Report

These are the items I worked on during the month of July and August 2018.

RESEARCH REQUESTS

I received and answered fourteen (14) requests in July and twenty-one (21) requests in August that took the form of emails, walk in researchers, mail inquiries, and department head and city employee requests. One of the interesting requests in August was the great-granddaughter of Deadwood Mayor Edward McDonald. During her site visit, I showed her McDonald's saddle bag from the City's collection.

COLLECTIONS MANAGEMENT

- **Photograph Location and Data Entry, PHO. Binder #1002 / Boots on Bricks**
Project: In July, I continued to catalog and update the records in PastPerfect pertaining to the City's general photographic collection, more specifically PHO. Binder #1002. Many of the printed images in this binder were used in Mark Wolfe's book, Boots on Bricks. The purpose of this project is to locate the prints and assemble them as part of the reprinting of this book.
- **Collection 2017.15 Deadwood Chamber of Commerce Collection:** In July and August, my volunteers and I continued to process the collection of color 35mm slides from the Deadwood Chamber of Commerce. Prior to cataloging, we separated out the duplicate images and then cataloged 1,772 slides that date from the 1970s to the early 2000s. Once the catalog numbers were assigned, we then entered the information into PastPerfect Collections software. Upon completion of the slides, we began organizing the photographic prints, VCR tapes, architectural plans, archival documents and printed ephemera. This fall, I will continue to process this collection. If you would like to see this collection, please stop in my office at your convenience.
- **2018 Loan Agreements:** There was one temporary loan agreement in August. **Loan 2018-09** was between the City of Deadwood and Case Library at Black Hills State University for the use of twelve (12) Lawrence County Tax ledgers from 1881 to 1896. These ledgers will be microfilmed and digitized by DocuTek of Denver, Colorado as part of the 2018 Archives Budget.
- **July and August Donations:** In July and August, the City of Deadwood received the following donations: **2018.08 Mariam Wescott-Toth Collection:** Ms. Wescott-Toth of Whitewood, South Dakota donated an assortment of cabinet cards, black and white prints and newspaper clippings as related to Deadwood. **2018.09 Black Hills Mining Museum:** In July, Bob Philips of Lead, South Dakota donated one archival box of photographs, stationary, and printed ephemera on behalf of the Mining Museum. **Collection 2018.10:** Neal Ziller of Gordon, Nebraska donated the Fifth Annual Edition 1912 Book of Credit Ratings. **2018.11 Dennis Bammer Collection:** Michael Johnson on behalf of Dennis Bammer of Deadwood, SD donated a 1939 Deadwood Troop #14 BSA advancement summary, World War II ration book and stamps, and 1944 Scout Master program notebook. **2018.12 Mead Cultural Education Center:** Crystal Nelson, Director of the Dakota Territorial Museum donated a small group of miscellaneous

documents relating to the Deadwood School. In September, I will send out donation forms for these collections. If you would like to see these donations, please stop in my office at your convenience.

PROJECTS

- **Outdoor Interpretive Panels:** In July, I submitted the final files to Pannier Graphics for printing. The completed panels arrived in Deadwood on August 8, 2018. I then began coordinating with the Streets Department to install the two signs. One will be placed near the Broadway Parking Structure and the other at the Cadillac Jacks pedestrian crosswalk. The second sign required an easement with the South Dakota DOT.
- **Experience Tour Exhibit Area:** As time permitted, I continued to work on the Historic Preservation experience tour titled, "*The History and Archaeology of the Badlands District*", display area. This included cutting 24 Purington Brick pavers to ½ inch thickness at the Streets Shop. Once completed, I created a simulated 1907 Main Street in the display case. In addition to the street pavers, I installed the three cylinder engine unearthed during the 2005 Nelsons Garage archaeological excavation. This area will focus on early transportation in Deadwood from freight wagons to automobiles.
- **2018 DHI Archaeology Camp/ Gordon Park Monitoring:** In July, I continued to monitor the excavation and installation of the new playground equipment in Gordon Park. This included coordinating with the installation crew, observing the excavation of the holes, locating artifacts and recording the ground disturbance. As a side line to the site monitoring, in August, I worked with Grant Welford of MacroVision and developed a 3 minute video on the 2018 archaeology camp. The video can be viewed on the Historic Preservation Facebook page and YouTube page. Finally, I installed several of the artifacts unearthed during the field school in the Cabinet of Curiosities at City Hall. These items will be on display through December.
- **2018-2019 Friendship Tower Traveling Exhibit:** In July, I was asked by Kevin to develop a traveling exhibit commemorating the 100th anniversary of Seth Bullock and Theodore Roosevelt's death and 100th anniversary of the Friendship Tower located on Mount Roosevelt. As part of the project, I reached out to Mount Rushmore National Monument. The interpretive staff has agreed to help design this exhibit that will be exhibited in Gutzon Borglum's studio at the site. As part of this project, I have begun compiling information on the Friendship Tower, Seth Bullock and Theodore Roosevelt. This included site visits to the Case Library at Black Hills State University, Northern Hills Ranger District and Mount Rushmore. The exhibit will officially be opened in June of 2019.
- **Deadwood Information/Visitor Center Exhibit Area:** In August, I measured, photographed and began transcribing the text panels located at the Deadwood Information/Visitor Center. This will include working with Split Rock Studios of Minneapolis to redesign and update the pre-existing panels to match the Welcome Center and Pluma Restroom exhibits. This will be a work in progress and I hope to have these in place by spring of 2019.

- **Prostitution Project:** In July and August, I helped HP student intern Paige Barthell on her Deadwood prostitution research. This included going to the Register of Deeds, locating files and answering her questions.

MISCELLANEOUS ITEMS

- **Spearfish Rotary Club Presentation:** On July 18, 2018, I gave a half hour talk on the unidentified Deadwood Pioneer at the Spearfish Rotary Club. Prior to the presentation, I developed a short PowerPoint presentation.
- **Firewise - Buckthorn Site Visit:** On July 19, 2018, Betsy Carbo and I traveled to Buelah, Wyoming to review the buckthorn removal and treatments at Ranch A. The City of Deadwood has an infestation of buckthorn between Williams and Main Street. The purpose of the visit was to learn how to mitigate this noxious bush.
- **Safety Training:** On August 8, 2018, I watched a one hour safety video on slips, trips and falls.
- **Site Visit, US Bureau of Reclamation:** On August 30, 2018, I gave a tour of the City Archives and Archeology Lab to members of the US Bureau of Reclamation from the Rapid City office.
- **July and August Newsletter:** In July and August, I wrote two articles for the city wide newsletter. The articles included the archaeological dig at Gordon Park and the 2017.15 Chamber of Commerce Collection.

If you have any questions or would like to see what I have been working on, feel free to stop in and see me.



Mike Runge, City Archivist



Above: Meghan Wittmass and Kevin Kuchenbecker holding new outdoor interpretive signs

Below: 35mm slide of "*Miners Night Out*", by John McGuen. This is one of 1,772 Chamber of Commerce slides that date from the 1970s to the early 2000s

